



City of Villa Park

Application for Site Plan Review

FILING INSTRUCTIONS FOR PROPERTY DEVELOPMENT SITE PLAN REVIEW

Application Filing Fee for Site Plan Review:	\$150.00
Minor Site Plan:	\$50.00
Landscape Plan Review:	\$100.00
Secondary Unit:	\$325.00

The Site Plan Review procedure enables the City to check development proposals for conformity with the provisions of the Zoning Ordinances contained within the Villa Park Municipal Code and for the manner in which they are applied, when no other application for property development is required. **The Site Plan Review is not a Plan Check. That is a separate process AFTER the Site Plan Review Process is completed.**

Unless otherwise specified, a Site Plan Review Application is **required** for all new development. Proposals are classified into, but are not limited to, the following categories:

SITE PLAN REVIEW

Home Additions	Sheds > 120 sq. ft. and/or > 9' High	Accessory Equipment/ Accessory Structures > 7' High
2 nd Dwelling Units	Pools	Retaining Walls and Fence/Wall > 72" High
Enclosures	Detached Structures > 7' High	

MINOR SITE PLAN REVIEW

Spas	Playground Equipment ≤ 12' High	Accessory Equipment/ Accessory Structures ≤ 7' High
Barbecues	Satellite Dish Antennae	Sheds ≤ 120 sq. ft. and/or ≤ 9' High
Flag Poles	Detached Structures ≤ 7' High	Walls/Fence ≤ 72" High and Non- Retaining
Fountains	Fireplaces	Solar Panel Installation

Approval of a Site Plan Review does not constitute approval of any required Conditional Use Permits or Variances. If after review it is determined by the Planning Department that the new development is required to be processed with a Conditional Use Permit or Variance, the applicant shall be required to complete the proper applications and obtain City Council approval before proceeding through the plan check process.

Fees paid for a Site Plan Review may be deducted from the Application Filing Fee for a Variance or Conditional Use Permit Application if there are no other items under the project requiring review under the Site Plan.

The applicant shall prepare all required exhibits. All plans, legal descriptions and supporting documents must be submitted on sheets not less than 8 ½" by 11". Plans must be carefully drawn and easily readable. If a plan is not so drawn, it will not be accepted for filing. Plans may be submitted electronically as long as they are readable when printed at 11"x17". Applicants are encouraged to submit at least a site plan and elevation plan electronically.

Required Documents:

1. **PLOT PLAN** – At least three (3) copies drawn to scale containing at a minimum the following information (plans must be folded no larger than 8 ½" x 14") (A sample plot plan is available at the public counter):

- a. Title Block (including applicant's name, project name, project address, vicinity map, date drawn, and directional indicators).
- b. Property lines of the subject property, including dimensions.
- c. Buildings, existing and proposed, showing location, size and setbacks from property lines.
- d. Property data and calculations showing the following:
 - i. Lot dimensions and net lot area.
 - ii. Existing and proposed building areas.
 - iii. Building setback requirements and proposed building setbacks.
 - iv. Lot coverage calculations including lot coverage allowed and lot coverage requested (expressed in figures and as a percentage).
 - v. Floor area allowed, requested floor area, and floor area ratio.
 - vi. Existing and proposed building heights.
- e. Exterior elevations and floor plans for all proposed and existing structures.
- f. Location of structures on adjoining properties within 25' and showing setbacks from property lines (specifically dwelling units).
- g. Streets names, locations, and width of right-of-way adjacent to site.
- h. Easements, location, purpose and width.
- i. Parking areas including driveways.
- j. Walls and fences, existing and proposed, showing type, location, and height.
- k. Landscaped areas, existing and proposed.
- l. Topography of proposed site and extending 25' into adjacent property.
- m. Signs, location, height, dimensions and copy, if applicable.
- n. Other outdoor structures and facilities; show location and use.

Zoning Requirements

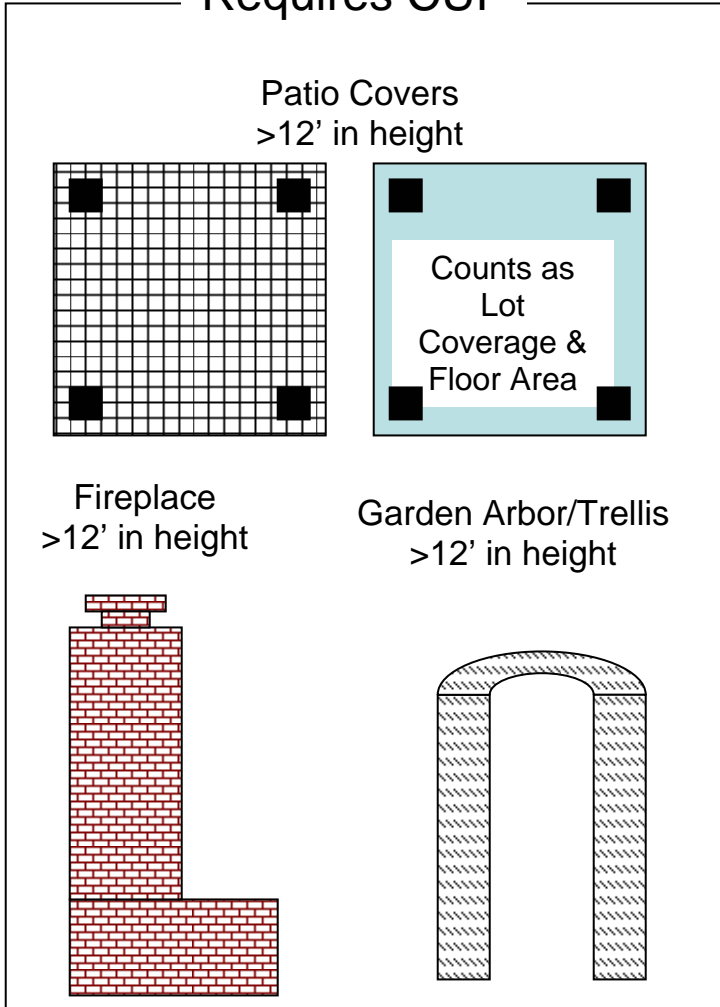
All zoning requirements must be met in order to pass Site Plan Review.

	CUP REQUIRED	Site Plan Review Required	
<u>Building Setback Requirements 2</u>	Detached Garages, Carports and Accessory Structures <u>Exceeding 12' in Height</u>	Detached Accessory Structures between 7' and 12' in height	Detached Accessory Structures, <u>7' or less in height</u>
Front Lot Line	50'	50'	30' (E4)* 20' (R1)*
Interior Side Lot Line	10' (E4) 5' (R1)	10' (E4) 5' (R1)	3'
Exterior Side with vehicular access	20' for garages & carports	n/a	n/a
Interior Rear Lot Line	10' (E4) 5' (R1)	10' (E4) 5' (R1)	3'
Exterior Rear Lot Line	20'	20'	3'
Side and Rear lot lines adjacent to front setback of abutting lot	25'	25'	3'
<u>Building Height Maximum</u>	15'	12'	7'
¹ A Site Plan Review is required for all new development on a property. Unless a Conditional Use Permit or Variance is required, Site Plan Reviews can be conducted over-the-counter. Fees for a SPR, CUP, or Variance are set by City Council Resolution. ² Detached Accessory Structures, except garages and carports, placed within a front, side or rear yard abutting a street, easement or front yard of an adjoining lot must have a screening fence or landscaping to conceal it from exterior view. ³ Setbacks distances are measured to the exterior wall of the structure. Eaves and overhangs on detached structures are limited to 30 inches.			

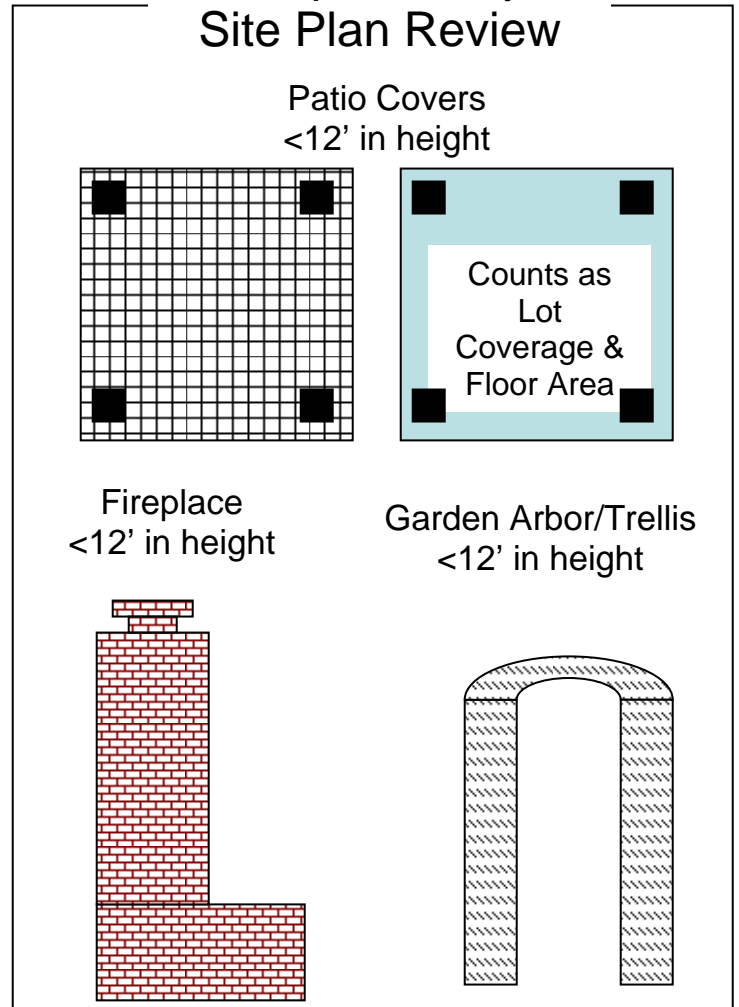
Detached Structures

All of the structures below previously required a Conditional Use Permit – the chart shows those that will now only require a Site Plan Review (provided all setback, lot coverage, and floor area requirements are met). Only the solid cover patio counts toward the Lot Coverage & Floor Area Ratios.

Requires CUP



Requires only Site Plan Review



Other typical detached structures that are typically over 7' in height that would require a Conditional Use Permit, but would now require only a Site Plan Review include: sheds, playhouses, barbecues, pool structures, platform decks, and small maintenance buildings.

Structures that are fully enclosed, over 120 square feet, and between 7 and 12 feet in height will still require a Conditional Use Permit.

