

City of Villa Park



General Plan Update

December 2010

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I. INTRODUCTION

CONTENTS OF THE GENERAL PLAN

California State law requires all cities and counties to have a long-range plan for their physical development. A General Plan is, in its simplest form, a statement by local citizens of what is in the best interest of their community. A General Plan is the City's statement of its vision for its own future. This view of the future is a compilation of a system of basic community values, ideals, and aspirations as to how both its natural and manmade environments should be organized and managed.

The General Plan functions as a guide to the type of community that is desired for the future and provides the means by which the community may achieve that desired future. The plan expresses, in text and in map form, the organization of physical, economic, and social activities sought by the community to create and maintain a functional, healthful, and desirable place in which to live.

Local agencies, including cities and counties, are required by State law to adopt General Plans. Section 65300 of the California Government State Code states:

Each planning agency shall prepare and the legislative body shall adopt a comprehensive, long-range general plan for the physical development of the County or City, and of any land outside its boundaries which in the planning agency's judgment bears relation to its planning.

Section 65302 of the California Government Code requires the General Plan to contain seven elements, or sections, addressing specific issues. However, a General Plan need not be organized into these seven elements, as long as the issues required by state law are discussed within the document. The seven elements required by the state are:

1. Land Use Element – designates the general distribution, location, and the extent of the uses of land for housing, business, industry, open space, education, public buildings and grounds, and other categories of public infrastructure and private use.
2. Circulation Element – identifies the general location and extent of existing and proposed major roads, highways, railroad and transit routes, terminals, and other local public utilities and public facilities.
3. Housing Element – identifies existing and projected housing needs and establishes goals, policies and programs for the preservation, improvement, and development of housing to meet the needs of all economic segments of the community.

4. Conservation Element – provides for the conservation, development, and use of natural resources, such as water, forests, soils, rivers, lakes, harbors, fisheries, wildlife, and minerals.
5. Open Space Element – details plans and measures for the preservation of open space for natural resources, for the managed production of resources, for outdoor recreation, and for public health and safety.
6. Noise Element – examines noise sources, yielding information to be used in setting land use policies for compatible uses and for developing and enforcing a local noise ordinance.
7. Safety Element – establishes standards and plans for the protection of the community from flood, geologic and seismic hazards.

The City of Villa Park also has an eighth element, which is not required by State law, but is required in order to qualify for Measure M funding. This element is described as such:

8. Growth Management Element – mandates that growth and development be based on the City's ability to provide an adequate traffic circulation system and related public facilities.

CURRENT VILLA PARK GENERAL PLAN

The City's General Plan was last comprehensively updated in 1991. That plan did fulfill all current requirements of State planning law, with the exception of the Housing Element. However, the City Council and staff determined that a comprehensive revision should be initiated. It is the intent of the 2010 General Plan revision to achieve the following objectives:

- Update the data contained in the previously adopted elements.
- Maintain internal consistency among all elements of the General Plan.
- Revise Goals, Policies and Programs as needed to reflect changing conditions.
- Incorporate new provisions and requirements of State law.

BACKGROUND

Villa Park's Rural Heritage

In the early 1960s, the residents of Villa Park felt that the character of their distinctive community was being threatened. As a result, the established families

of the community organized the City's incorporation to preserve its rural atmosphere and to save the area from what they felt were unwelcome zoning practices from the eastward expansion of the City of Orange. On January 11, 1962 the City was officially incorporated.

Prior to incorporation and for decades after, communities throughout Orange County, fueled by a burgeoning regional economy, were experiencing sprawling growth resulting from pressures for development from the larger core cities. Previously distinct cities were blending together into indistinguishable and crowded suburbs. Villa Park was perhaps the first city in the region to act to protect its single-family residential community and rural small-town heritage. In 1962 the City Council established a master land use plan which has been embraced by its residents for the past 46 years. Continuing the City's historic past, this General Plan update will preserve the quality and integrity of Villa Park's rural single family community for approximately the next 25 years. Critical to maintaining the "Hidden Jewel" of Villa Park will be the continued cooperation of the City with the County and neighboring municipalities by proactively planning for compatible and consistent development and land uses, promoted by the various policies and goals stated within the plan.

Community Character & Identity

Villa Park is the smallest City in Orange County by population, and most people think of it as a friendly small town. The City's small-town character, with its intrinsic unique qualities, is important to Villa Park's identity. Key elements that characterize Villa Park's small-town qualities are its stable, established, and friendly neighborhoods, the mixture of housing types and sizes, local award-winning schools that also serve the Cities of Orange and Anaheim, one traditional architecturally controlled neighborhood shopping center, lack of street lights in residential neighborhoods to preserve the rural atmosphere, sidewalks constructed along school routes for pedestrian safety, and the presence of a city-wide recreational trail system. Villa Park maintains a significant and unique resource in its active volunteer community whose participation in civic affairs is visible throughout the City in almost every aspect. Such residential spirit and energetic participation distinguishes the community from other surrounding suburban cities.

Description of Population

According to a comparison of the 1990 and 2000 U.S. Census data, the population of Villa Park declined six percent from 6,299 in 1990 to 5,999 in the year 2000. Recently, for 2007, the population estimate by the State of California Department of Finance reports Villa Park's population as 6,251. Villa Park is essentially built out and the consistency in population is indicative of few new housing units and very stable population demographics.

Additional population characteristics described in the 2000 census and the 2007 State of California Department of Finance are listed in **Table I-1**, entitled Villa Park Population Characteristics.

**Table I-1
VILLA PARK POPULATION CHARACTERISTICS**

	1990 US Census		2000 US Census		2007*
	Number	Percent	Number	Percent	
Median Age (Years)	N/A		43.3		N/A
Age Distribution					
Under 5 Years	251	4%	243	4.1%	N/A
5-19	1,465	23.3%	1,378	23.2%	N/A
20-44	1,978	31.4%	1,517	25.6%	N/A
45-64	2,172	34.4%	1,922	32.4%	N/A
65 and Over	433	6.9%	872	14.7%	N/A
Total	6,299	100%	5,999	100%	6,251
Total Housing Units	1966		1,929		2,021
Average Household Size	3.30		3.07		3.17

*State of California, Department of Finance

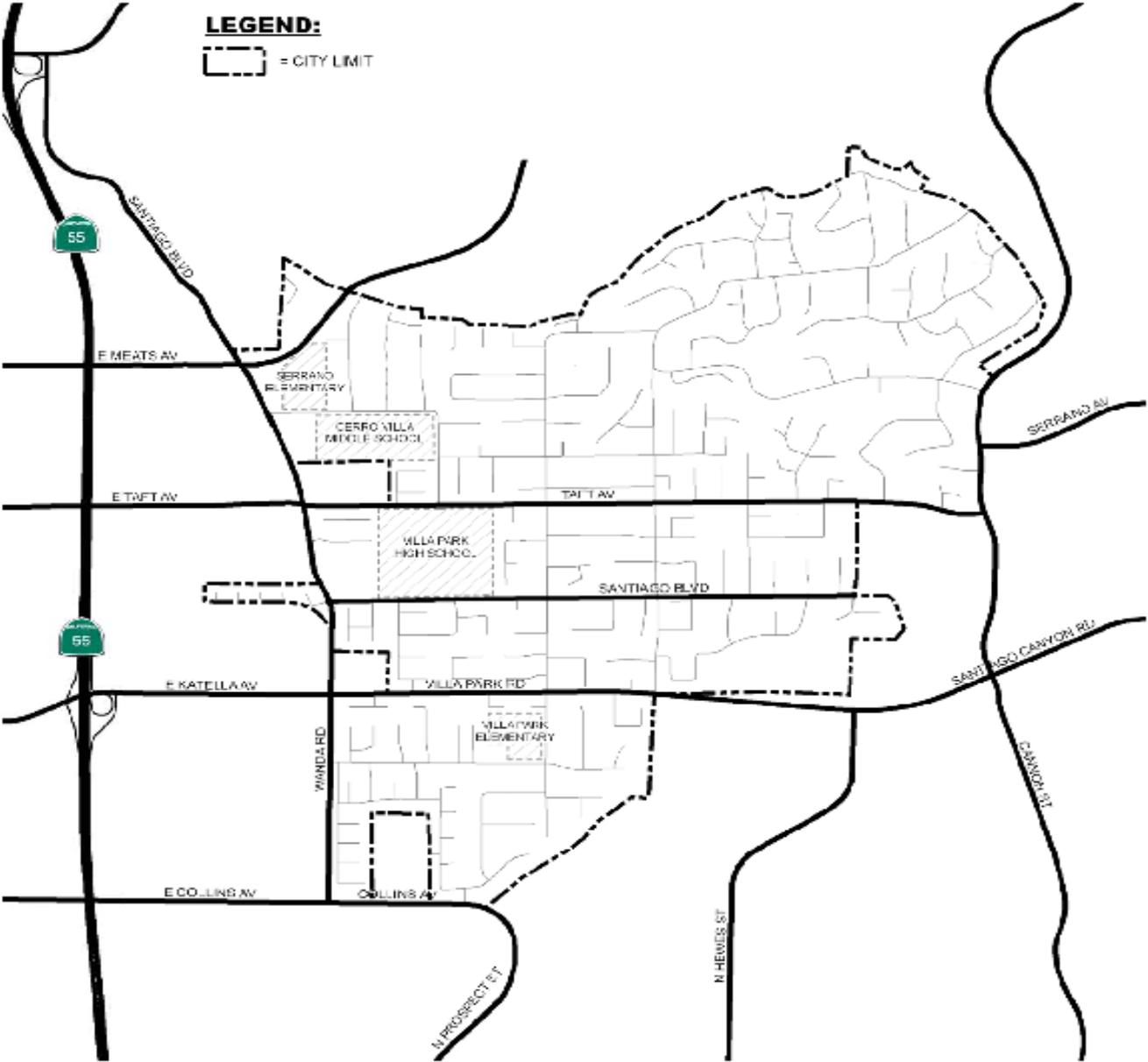
Villa Park will add relatively few primary housing units in the next twenty-five years and therefore its population will remain very stable. Fluctuations will come from changes in family size or demographics. Changes that include larger family sizes within primary residential units are expected. Additionally, the construction of secondary dwelling units for either family or rental use could increase the population. Overall, the City will remain well under 7,000 residents based on its size and land use constraints.

City of Villa Park

2010 General Plan

Exhibit I-1

Regional Location Map



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

II. LAND USE

INTRODUCTION AND BACKGROUND

Land Use Legislation

The adoption of a General Plan by cities and counties became a legal requirement in 1955. At that time, a General Plan consisted of Land Use and Circulation Elements. In 1971, the Legislature created one of the most important features of State planning law by requiring that local zoning and subdivision approval be consistent with the General Plan. Government Code 65302 (a) defines the Land Use Element as follows:

A Land Use Element generally defines the proposed distribution, location, and extent of uses of the land for housing, business, industry, open space (including agriculture, natural resources, recreation, and enjoyment of scenic beauty), education, public buildings and grounds, solid and liquid waste disposal facilities, other categories of public buildings and grounds, and other categories of public and private uses of land. The Land Use Element shall include a statement of the standards of population density and building intensity recommended for the various districts and other territory covered by the plan which are subject to flooding and shall be reviewed annually with respect to such areas.

Purpose and Function

The purpose of the Land Use Element is to establish a pattern of compatible land uses to reflect existing conditions and to set standards and policies to guide future development. The focus is on community growth consistent with the City's small-town qualities and rural neighborhood character. By law, the element must set clear standards for density of population and development intensity for each proposed land use category. The Land Use Element, which has the broadest scope of the seven required elements, provides a composite discussion of the issues affecting Villa Park through text, diagrams and illustrative land use maps.

Relationship to Other General Plan Elements

Section 65300.5 of the California Government Code requires the General Plan be consistent throughout (i.e., "internally consistent"). The assumptions and projections used in the Housing Element, for instance, must be consistent with those used in the Land Use Element and the Open Space Element. Local policies must not conflict with Statewide policies pertaining to housing, open space and environmental quality.

INVENTORY OF EXISTING CONDITIONS

Sphere of Influence

The City of Villa Park encompasses 2.1 square miles and currently has no opportunity for expansion of its city limits due to the limitations of “sphere of influence” boundaries established by the Orange County Local Agencies Formation Commission (LAFCO). The sphere of influence boundaries are co-terminus with the City limits. Villa Park is completely encircled by the City of Orange with the exception of a small area controlled by the County of Orange.

Adjoining Areas

Zoning in areas surrounding Villa Park is composed of single-family residential parcels ranging from 6,000 to 20,000 square feet, a planned community district, a multiple family district, a sand and gravel extraction district, water reclamation and flood control facilities, and a small amount for professional use.

The Santiago Creek Greenbelt, including intercommunity recreational trail linkages, has been in development since the early 1970’s. The former sand and gravel mining operations along Santiago Creek between Bond Street and Cannon Street resulted in extensive pits, some as much as 500 feet in depth. The pits have been converted for flood control and water conservation uses by the County of Orange and the Orange County Water District.

Land Use and Zoning Patterns

Land Use Classifications

Land use classifications designated by the Villa Park General Plan are defined in terms of population density and building intensity and are illustrated on **Exhibit II-1**. Single family Residential (SFR) is the predominant land use in Villa Park as shown in **Table II-1**. Land use categories are as follows:

1. Single Family Residential --- 1.75 dwelling units/acre
2. Single Family Residential --- 2.5 dwelling units/acre
3. Single Family Residential --- 3.0 dwelling units/acre
4. Commercial
5. Open Space

City of Villa Park

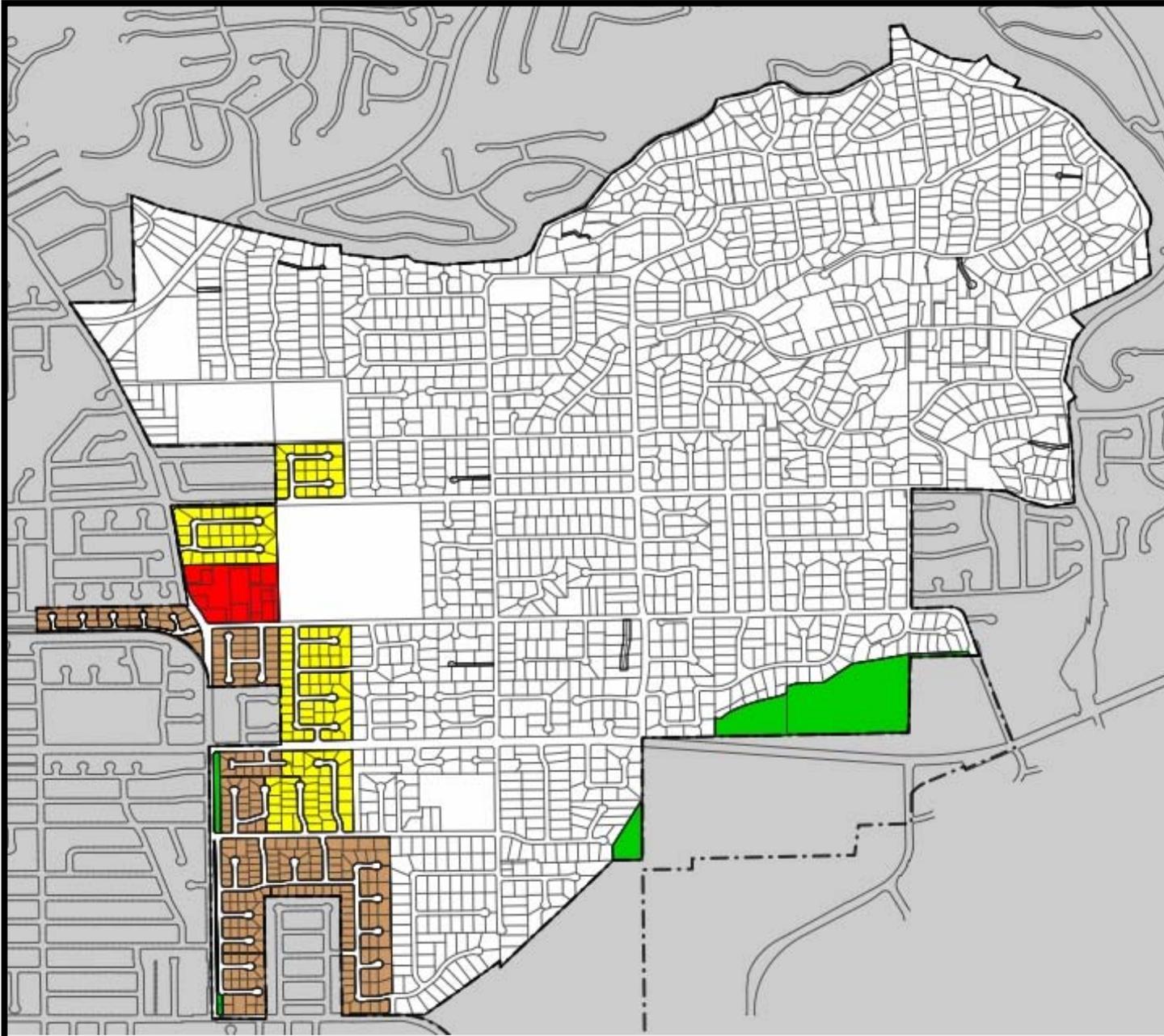
2010 General Plan

Exhibit II-1

Land Use Policy Map

Legend

-  Estate Low Density Residential 1.75 DU/AC
-  Low Density Residential 2.5 DU/AC
-  Low Medium Density Residential 3.0 DU/AC
-  Commercial
-  Open Space



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

**Table II-1
City of Villa Park
Land Use by General Plan Classification (2007)**

Land Use Classification	Total Acreage ¹	Percentage of Total ¹
SFR – 1.75 du/ac	1170.30	87%
SFR – 2.5 du/ac	57.05	4.2%
SFR – 3.0 du/ac	78.82	5.9%
Commercial	11.55	.8%
Open Space ²	27.83	2.1%
Total	1,345.55	100%

¹ All calculations are approximate

² 25.9 acres of which lies within the Santiago Creek water reclamation and flood control area

Zoning Districts

Zoning Classifications implemented by the Municipal Code are defined in terms of how land is occupied or planned to be utilized. A total of twelve zoning districts have been formed and are listed as follows:

1. Small Estates: E-4-20,000 square feet
2. Single Family Residence: R-1-13,500 square feet
3. Single Family Residence: R-1-12,000 square feet
4. Single Family Residence: R-1-10,000 square feet
5. Single Family Residence: R-1-9,500 square feet
6. Single Family Residence: R-1-9,000 square feet
7. Single Family Residence: R-1-8,500 square feet
8. Single Family Residence: R-1-8,400 square feet
9. Single Family Residence: R-1-8,000 square feet
10. Architectural Supervision/Commercial Neighborhood: AC-CN
11. Planned Community
12. Open Space

Availability of Vacant Developable and Sub-Dividable Land Parcels

As illustrated on **Exhibit II-2**, “Developable Land Parcels,” a total of five parcels in the SFR – 1.75 du/ac land use district are reported as vacant and remain undeveloped and a total of four parcels in the same district are sub-dividable into more than four lots.

City of Villa Park

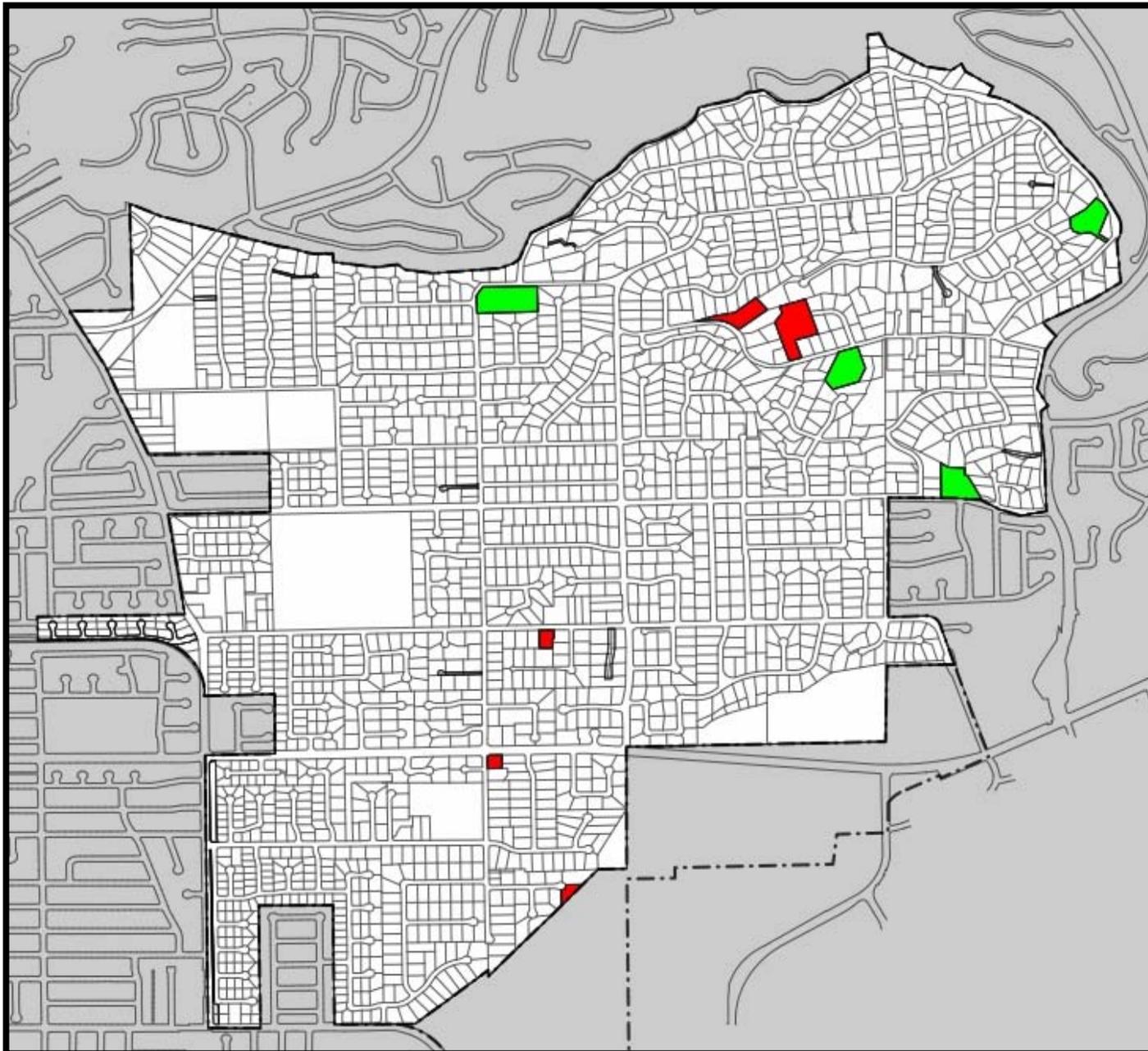
2010 General Plan

Exhibit II-2

Developable Vacant and Sub-dividable Parcels

Legend

-  Developable Vacant
Parcels
-  Sub-dividable Parcels (>4
Parcels)



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

Non-Residential Development

Neighborhood Shopping Center

Villa Park's 11.55 acre community Towne Centre provides retail, professional, and employment opportunities for its residents and visitors. Also, within the Villa Park Towne Centre are City Hall, the Villa Park branch of the Orange County Public Library, and a United States Post Office contract station.

Schools: Open Space and Recreational Uses

Eighty acres of "Small Estates: E-4-20,000 sq. ft." zoned property is currently utilized by Orange Unified School District as school sites for educating students residing in the broader Orange, Anaheim and the Villa Park attendance zones.

Infrastructure and Municipal Services

The City of Villa Park remains essentially a "Contract City", relying heavily upon a volunteer City Council, a small professional staff, key workers, outside professional consultants, and a wide variety of contractual agreements for on-going operations and maintenance.

Table II-2, "Utility Providers," lists the services and providers of municipal services.

**Table II-2
City of Villa Park
Utility Providers**

Water:	Serrano Water District
Sewer	
Collection:	City-Owned System
Treatment:	O.C. Sanitation District
Maintenance Districts No. 1:	City System
Storm Drainage:	City Maintained System
Refuse Collection and Disposal:	Villa Park Disposal
Electric:	Southern California Edison
Gas:	Southern California Gas Co.
Telephone:	AT&T
Cable TV:	Time Warner

Sewer System

The City owns and operates a sanitary sewer system in coordination with the Orange County Sanitation District for the benefit of the residents of the community. The system was constructed primarily in the 1960's and 70's and is built-out. The system consists of approximately 153,000 linear feet (29 miles) of

collector and trunk sewer mains ranging in size from 8 to 15 inches in diameter. Some of the trunk mains are joint use mains with the City of Orange. It is estimated there are approximately 10 operating septic tank systems remaining in the City.

A “Sewer Service User Charge”, which is assessed on the property tax role and based on land use, is for maintenance and rehabilitation of the sewer system within the City. The Orange County Sanitation Districts, of which Villa Park is a member, assesses a “sewer hook-up fee” and a “sewer acreage fee” to support the regional treatment facilities, operations, and new trunk lines.

Storm Drain System

The City operates a drainage system consisting of open channels, pipe and box conduits and various types of inlet structures. Land use is a significant factor in the calculation of the development of the system. The total drainage area of the system is 2.5 square miles and includes some areas outside the City boundaries. The City system was started in the 1960’s and has expanded with development. A key element of the system is the Center Street Storm Drain that runs from Mesa Drive down to Serrano Avenue and proceeds down Center Street to Santiago Creek. That portion of the system is owned and operated by the Orange County Flood Control District. In 1997 the City adopted a Master Plan of Drainage that identified certain deficiencies in the system. The City has been addressing these on a priority basis as funds permit.

Contract Services

Villa Park contracts for many of its services including: Building Department services (permitting and inspection); Civil Engineering; Traffic Engineering; Fire Protection; Law Enforcement; and legal services through an appointed City Attorney.

ISSUES AND OPPORTUNITIES

Issues

Challenges to Single-Family Residential Land Use

- Since development in the City of Villa Park is over ninety-nine percent complete, the primary issue for the future is to protect and maintain the desirable character and qualities of the single-family residential community.
- Since the majority of residences in the City were built in the 1965-1985 timeframe, appropriate maintenance will be needed to maintain the quality of the housing stock.

- In order to maintain a desirable community, strict adherence to, and enforcement of, the zoning codes of the City is essential. To the extent possible, variances may be approved only under special adverse situations and with appropriate special conditions.
- Limited areas of Villa Park are potentially affected by 100-year and 500-year flooding events. Just over 10% of properties lie within the 500-year flood hazard zone and approximately 2% of properties lie within the 100-year flood hazard zone.

Challenges to Commercial Land Use

- The City's current commercial site cannot be developed further due to infrastructure and expansion limitations.

Opportunities

- Single family residential housing, the predominant land use, is primarily owner occupied, and is in good condition throughout the City. With continued maintenance, existing housing stock is anticipated to remain in sound condition for current and future residents.
- Key infrastructure is in good condition, and with continued maintenance and funding, road, sewer, and storm drain infrastructure is anticipated to remain in sound condition for current and future residents.
- There is expressed interest and effort by Towne Centre property owners to explore potential improvements to structures and infrastructure within the commercial district.

GOALS, POLICIES AND PROGRAMS

The goals, policies, and implementation programs throughout the General Plan focus on both preserving as well as enhancing Villa Park by managing future growth, maintaining its high quality residential neighborhoods, and maintenance and development of the surrounding open space areas.

Land Use Goal # 1: Maintain and enhance the desirable qualities of the neighborhoods that comprise the community.

Land Use Policies:

- LU #1: Development – The City shall continue to develop standards that encourage high quality development and take into consideration preservation of the neighborhood setting.
- LU #2: Zoning Codes The City shall continue to adhere to and enforce the zoning codes. To the extent possible, issuance of variances should take place only under special adverse situations and with appropriate special conditions.
- LU #3: Rental Housing - The City shall have appropriate guidelines or requirements to address rental housing, tenant safety and potential adverse effects on neighborhoods.
- LU #4: Maximize Community Resources – Through cooperation and coordination with the four public schools and the Orange Unified School District, the City shall seek to maximize access to the existing public properties for community uses beyond educational functions. These may include recreation, organized team sports programs, community events, community emergency functions and services for the region, and maintaining usable open space.
- LU #5: Community Involvement - The City shall continue to solicit active neighborhood volunteer leadership and participation in addressing neighborhood problems such as graffiti, parking violations, barking dogs, occupancy exceeding single-family residential capacity, rental property management, public nuisances, vandalism, and poor property maintenance.

Action Programs:

1. For each of the land use categories, City staff shall maintain the adopted standards through adherence to current codes, code enforcement, and education of contractors and property owners. Such standards include maximum lot

coverage, floor area ratio, minimum setback requirements, maximum height restrictions, and the residential design standards.

2. The City shall address property maintenance code enforcement on a proactive basis through active public education efforts, open communications and development of minimum thresholds for enforcement actions.
3. City Council and Staff shall annually review and update the City's Zoning Ordinance/Codes in support of the General Plan.
4. City leaders and management shall continue to develop partnerships with community organizations and schools to identify, implement, and fund community safety, enhancement, and beautification projects and programs.
5. The City shall develop guidelines and requirements for the administration of rental housing, tenant safety, and potential impacts on neighborhoods.

Land Use Goal #2: Preserve and enhance the City's infrastructure system to ensure that it meets the needs of current and future residents.

Land Use Policies:

- LU #6: Maintain Infrastructure and Utility Services - Identify useful life of key infrastructure and establish appropriate rehabilitation programs.
- LU #7: Multi-Jurisdictional Cooperation - The City shall support cooperative planning with other Orange County municipalities and agencies to achieve common interests, identify potential revenue and cost sharing opportunities, and comply with California state requirements where applicable for infrastructure projects.
- LU #8: Federal Flood Proofing Standards - The City shall ensure compliance with all current and future Federal flood proofing requirements.

Action Programs:

6. Preserve community aesthetics by effectively and efficiently allocating for prioritized infrastructure maintenance and improvements in the Annual Budget and Capital Improvement Program.
7. Continue to require compliance with FEMA standards of flood proofing for substantial improvement projects located within the 100-year floodplain.

Land Use Goal #3: Encourage the development of an attractive and diverse retail and professional commercial center serving the needs of the City's residents, businesses and visitors.

Land Use Policies:

- LU #9: Towne Centre Enhancement - The City, along with partnering property owners, shall facilitate through planning and cooperative economic partnerships enhancements to the appearance, character and viability of the existing Towne Center.

Action Programs:

8. Enhance the existing core commercial area by creating landscape standards, revising the signage design guidelines and standards, and enhancing points of Towne Centre entries.
9. Continue the development of consensus with Towne Centre property owners to focus public and private resources to upgrade structures and infrastructure within the Towne Centre.

III. CIRCULATION

INTRODUCTION

The transportation system of a community is vital to its success. Efficient traffic circulation is important to economic vitality and promotion of a quality living environment. The transportation system is multi-modal, providing a variety of transportation alternatives such as transit, bicycle, and pedestrian systems for citizens and visitors to access the City.

Purpose and Function

The purpose of the Circulation Element of the General Plan is to provide for an efficient, convenient and safe transportation system for the City. In order to meet this objective, the Circulation Element has been designed to accommodate the anticipated transportation needs of the community based on existing and future land use within the region.

In compliance with state law, all City and County general plans must contain a circulation element that designates future road improvements and extensions, addresses non-motorized transportation alternatives, and identifies funding options. The intent of the element is to:

- Identify the transportation needs and issues within the City, as well as regional relationships that affect the City's transportation system.
- Describe the potential circulation system in terms of design elements, operating characteristics, and limits of operation.
- Consider alternatives other than the single-occupant vehicle in providing services and accessing facilities.
- Establish policies that coordinate the circulation system with the General Plan land use map and provide direction for future decision making processes in establishing goals for the Circulation Element.
- Develop strategies and identify funding sources to provide for the timely application of the Circulation Element goals and policies.

INVENTORY OF EXISTING CONDITIONS

The circulation network provides the link between land uses and facilitates access to home, shopping, jobs and recreation. This section of the Element describes the existing transportation system with the City's General Plan study area. A number of transportation systems are described including:

- Streets and Highways
- Non-Motorized Transportation
- Public/Mass Transportation
- Truck Routes

Street and Highway System

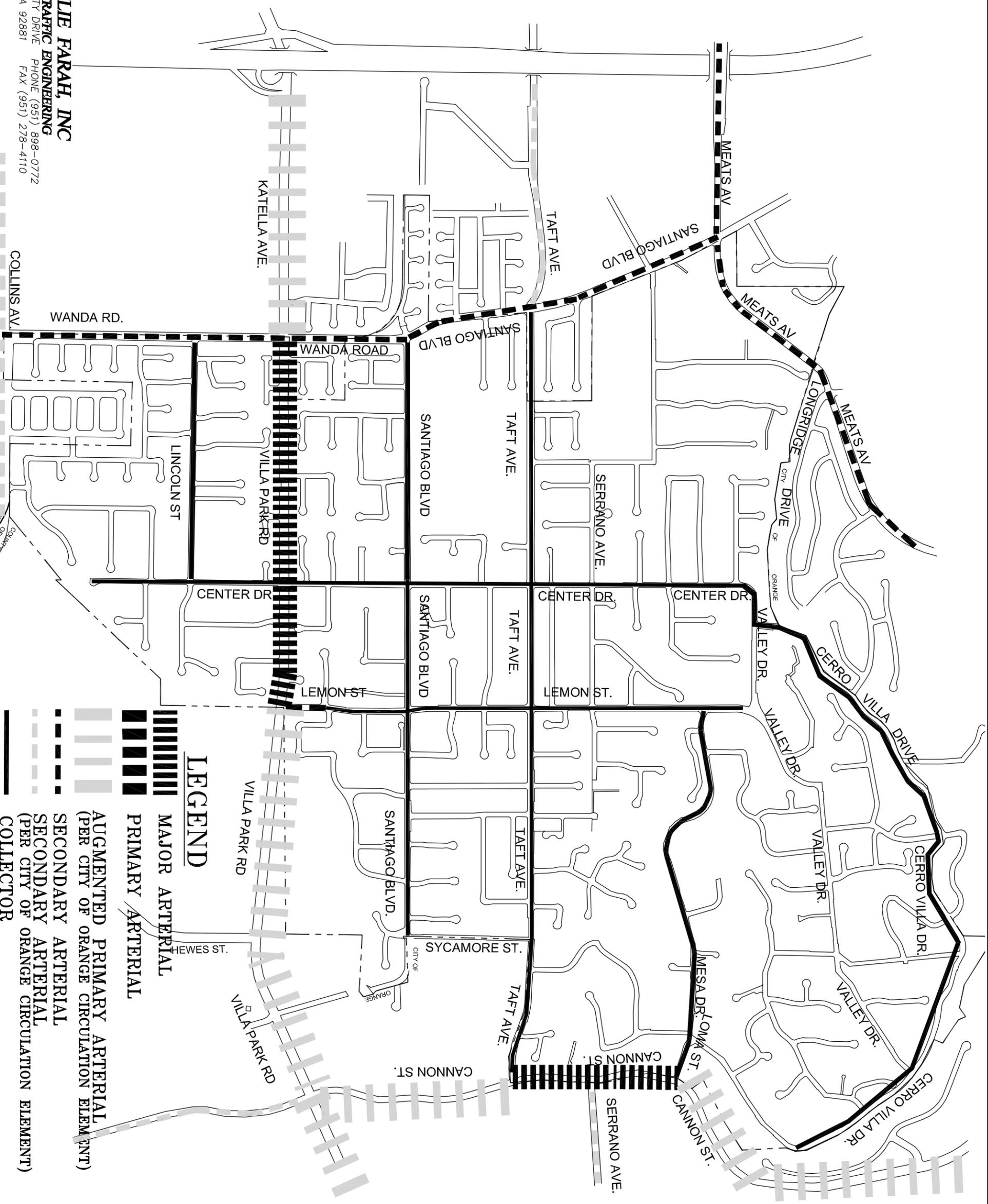
Functional Roadway Classification System

Functional classification is the process by which streets and highways are grouped into classes or systems, according to the type of service they are intended to provide. It is with the understanding that most travel involves the movement through a network of roads. The City of Villa Park is guided by the Orange County Transportation Authority (OCTA) for the Master Plan of Arterial Highways (MPAH)¹. Consistency with the MPAH ensures that each City and the County implement the same base transportation network with similar standards and assumptions. **Exhibit III-1** shows the existing roadway network and classifications. The current system of roadways consists of five basic classifications as follows:

- Principal Arterial – is an eight-lane divided roadway, with a typical right of way width of 144 feet with roadway width of 126 feet curb to curb. A principal arterial is designed to accommodate 60,000 vehicle trips per day at Level of Service C. Villa Park has no Principle Arterials.
- Major Arterial – is a six-lane divided roadway, with a typical right-of-way width of 120 feet with roadway width of 102 feet. A major arterial is designed to accommodate 45,000 vehicle trips per day at Level of Service C; Cannon Street falls under this category.
- Primary Arterial – is a four-lane divided roadway, with a typical right-of-way width of 100 feet with roadway width of 84 feet curb to curb. A primary arterial is designed to accommodate 30,000 vehicle trips per day at Level of Service C; Villa Park Road falls under this category.
- *Augmented Primary (City of Orange Classification)* – contains six through travel lanes within a 100-foot right-of-way. Such roads may contain free right turn lanes, additional left turn lanes at intersections, lanes to allow movement in and out of bus bays, and other features designed to increase roadway capacity.
- Secondary Arterial – is a four-lane undivided (no median) roadway, with a typical right-of-way width of 80 feet with roadway width of 64 feet curb to curb. A secondary arterial is designed to carry 20,000 vehicle trips per day at Level of Service C; Santiago Boulevard N/S, Wanda Road, and Meats Avenue are examples that fall under this category.
- Collector – is a two lane undivided roadway with a typical right-of-way width of 56 feet with roadway width of 40 feet curb to curb. A collector is designed to accommodate up to 10,000 local vehicle trips per day at Level of Service C; Taft Avenue, Center Street, and Lemon Street are examples that fall under this category

¹ Guidance for Administration of the Orange County Master Plan of Arterial Highways, Effective Date of MPAH: January 22, 2007

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LEGEND

	MAJOR ARTERIAL
	PRIMARY ARTERIAL
	AUGMENTED PRIMARY ARTERIAL (PER CITY OF ORANGE CIRCULATION ELEMENT)
	SECONDARY ARTERIAL (PER CITY OF ORANGE CIRCULATION ELEMENT)
	COLLECTOR



Level of Service Analysis

In order to evaluate the ability of a roadway to handle existing and future traffic a level of service (LOS) standard is used. The LOS ranks and characterizes traffic congestion on a scale of A to F, with LOS A being a free-flow condition and LOS F considered to be extremely congested. In addition to the LOS ranking, volume to capacity (V/C) is used to provide a quantified description of traffic conditions. The minimum acceptable LOS for roadways is LOS C and for intersections is LOS D. The following provides a definition of the six levels of service for intersections and design capacity of roadways²:

LOS A (V/C ratio of 0.0 to 0.60): Indicates no physical restriction on operating speeds.

LOS B (V/C ratio of 0.61 to 0.70): Indicates stable flow with few restrictions on operating speed.

LOS C (V/C ratio of 0.71 to 0.80): Indicates stable flow, higher volume, and more restrictions on speed and lane changing.

LOS D (V/C ratio of 0.81 to 0.90): Indicates approaching unstable flow, little freedom to maneuver, and conditions intolerable for short periods.

LOS E (V/C ratio of 0.91 to 1.00): Indicates unstable flow, lower operating speeds and some momentary stoppages.

LOS F (V/C ratio greater than 1.00): Indicates forced flow operation with low speeds, where the highway acts as a storage area with many stoppages.

Table III-1 provides roadway capacities for each classification. These capacities are factored by number of intersections, degree of access, sight distance and amount of truck and bus traffic. Average Daily Traffic (ADT) is used as a planning tool to assist in determining arterial highway classification to meet future traffic demand.

**Table III-1
Roadway Level of Service Capacity**

Roadway Classification	Level of Service				
	A	B	C	D	E
Principal	45,000	52,500	60,000	67,500	75,000
Major	33,900	39,400	45,000	50,600	56,300
Primary	22,500	26,300	30,000	33,800	37,500
Secondary	15,000	17,500	20,000	22,500	25,000
Collector	7,500	8,800	10,000	11,300	12,500

² Source: County of Orange, Advance Planning Program, Transportation Element, Appendix 4

Current Average Daily Traffic Volumes are shown in **Exhibit III-2. Table III-2** summarizes existing conditions as well as level of service for the studied roadways.

**Table III-2
Existing 2008 Conditions for Roadways**

Roadway	Classification	Existing ADT	V/C	LOS
Cannon Street: Loma St to Taft Ave	Major	29,586	0.526	A
Center Dr: Valley Dr to Serrano Ave	Collector	3,149	0.252	A
Center Dr: Serrano Ave to Villa Park Rd	Collector	3,437	0.275	A
Center Dr: Villa Park Rd to South End	Collector	1,201	0.096	A
Cerro Villa: Center Dr to Mesa Dr	Collector	991	0.079	A
Lemon St: Villa Park Rd to Valley Dr	Collector	2,245	0.180	A
Lincoln St: Wanda Rd to East End	Collector	1,608	0.128	A
Meats Ave: Santiago Blvd to Longridge Dr	Secondary	10,955	0.438	A
Mesa Dr: Lemon St to Cannon St	Collector	943	0.075	A
Santiago Blvd (N/S): Meats Ave to Villa Park Rd	Secondary	18,039	0.721	C
Santiago Blvd (E/W): Santiago NS to Center Dr	Collector	4,827	0.386	A
Santiago Blvd (E/W): Center Dr to Sycamore St	Collector	3,245	0.259	A
Taft Ave: Santiago Blvd to Center Dr	Collector	10,222	0.818	D
Taft Ave: Center Dr to Cannon St	Collector	6,020	0.482	A
Villa Park Rd: Wanda Rd to Center Dr	Major	23,877	0.424	A
Villa Park Rd: Center Dr to Lemon St	Major	22,906	0.407	A
Wanda Rd: Santiago Blvd to Collins Ave	Secondary	11,523	0.461	A

Future Traffic Demand

New development as a result of regional growth east of Villa Park will result in an increase in traffic volumes along City streets. In order to estimate the effect of future traffic on the City's arterial roadway system, the Orange County Transportation Authority (OCTA) Traffic Model was used. The model provides a forecast of ADT for the year 2030. These volumes were adjusted or post-processed to account for the growth between the model base year of 2000 and existing conditions. For those segments not represented in the OCTA traffic model, a one percent ambient growth rate was applied to existing 2008 traffic volumes to the year 2030. These volumes and the adjusted 2030 ADT are presented in **Table III-3. Exhibit III-3** presents the 2030 Average Daily Traffic Volume for each studied roadway segment.

**Table III-3
2030 Conditions for Roadways**

Roadway	Classification	2030 ADT	V/C	LOS
Cannon Street: Loma St to Taft Ave	Major	33,787	0.600	A
Center Dr: Valley Dr to Serrano Ave	Collector	4,508	0.361	A
Center Dr: Serrano Ave to Villa Park Rd	Collector	4,709	0.376	A
Center Dr: Villa Park Rd to South End	Collector	1,465	0.117	A
Cerro Villa: Center Dr to Mesa Dr	Collector	1,209	0.097	A
Lemon St: Villa Park Rd to Valley Dr	Collector	2,739	0.219	A
Lincoln St: Wanda Rd to East End	Collector	1,962	0.156	A
Meats Ave: Santiago Blvd to Longridge Dr	Secondary	16,949	0.677	B
Mesa Dr: Lemon St to Cannon St	Collector	1,150	0.092	A
Santiago Blvd (N/S): Meats Ave to Villa Park Rd	Secondary	19,088	0.763	C
Santiago Blvd (E/W): Santiago NS to Center Dr	Collector	5,889	0.471	A
Santiago Blvd (E/W): Center Dr to Sycamore St	Collector	3,959	0.316	A
Taft Ave: Santiago Blvd to Center Dr	Collector	9,742	0.779	C
Taft Ave: Center Dr to Cannon St	Collector	8,422	0.674	B
Villa Park Rd: Wanda Rd to Center Dr	Primary	28,866	0.770	C
Villa Park Rd: Center Dr to Lemon St	Primary	28,686	0.765	C
Wanda Rd: Santiago Blvd to Collins Ave	Secondary	14,101	0.564	A

Results of the segment analysis for the Year 2030 indicate that the majority of segments will be operating at acceptable LOS A thru LOS C.

In November of 2009 the City of Villa Park initiated discussions with the OCTA, the County of Orange, and the City of Orange regarding modifying the classification of VPR in the MPAH. OCTA took the lead on the project and contracted Austin Foust Associates Inc. to initiated a cooperative study to determine the effects of downgrading VPR on roadway and intersections within the study area and what mitigation measures should be implemented to offset any impacts created.

By July of 2010 the OCTA Board of Directors, County of Orange, and City of Orange approved an amendment to the MPAH to reclassify Villa Park Road from a Major Arterial, as shown on Table III-2 - Existing 2008 Roadway Conditions and Exhibit III-1, to a Primary Arterial as shown on Table III-3 - 2030 Conditions for Roadways and Exhibit III-4 – Road Network and Classification.

As future volumes increase due to development in adjacent communities roadways with a LOS of D or worse would need to be improved in order to encourage regional traffic to use primary roadways and discourage the use of alternative routes through residential neighborhoods with collector or local street designations. **Exhibit III-4** shows the future roadway network and classifications.

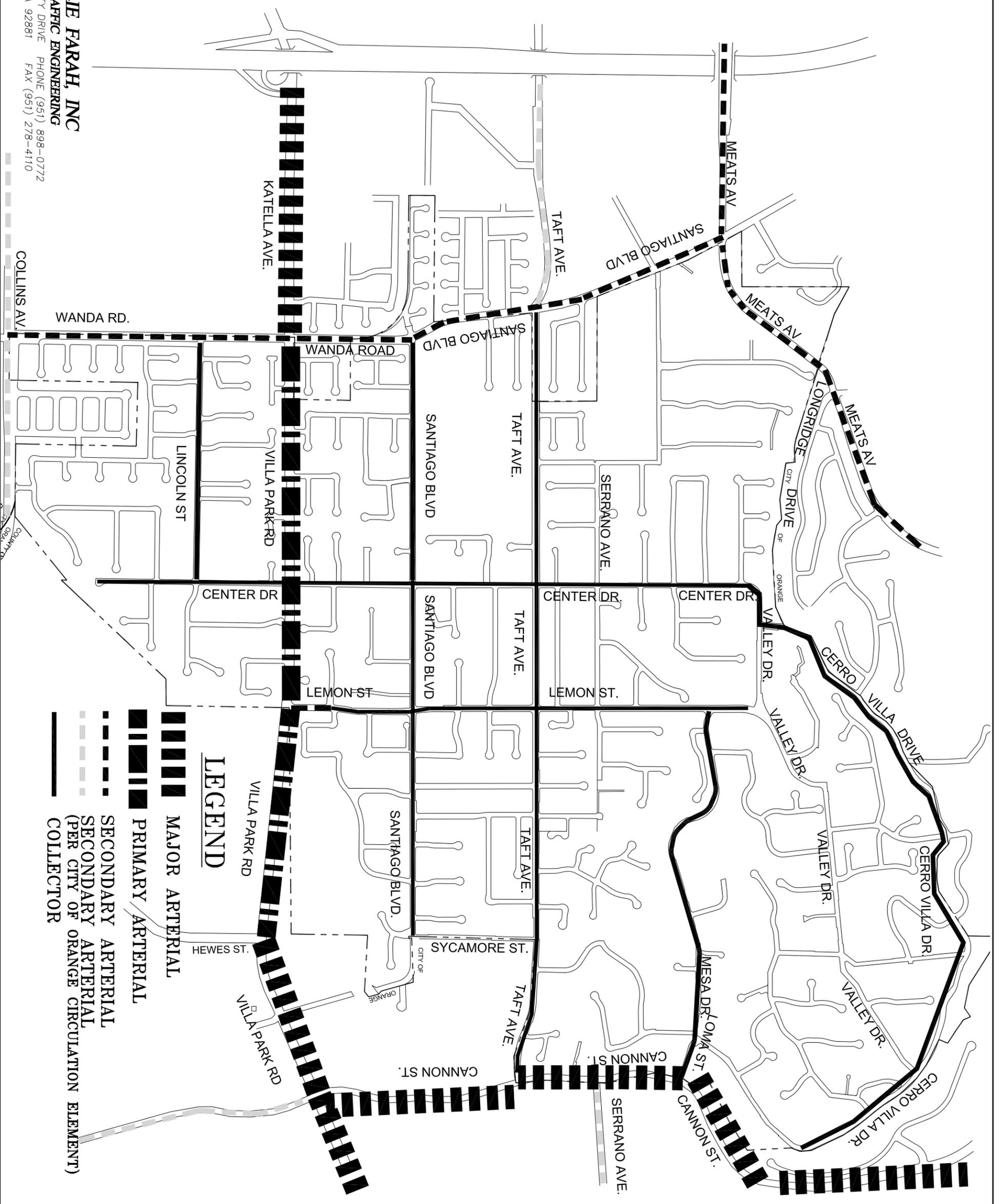
The Regional Circulation map is included as **Exhibit III-5** and is available at City Hall.

Vehicular Improvements

The following would serve to improve segment LOS to acceptable levels of LOS “C” or better.

- Upgrade roadways with improvements that will promote the flow of through traffic. This can be done with improvements such as synchronization of signals along the route, adding exclusive turn lanes where feasible, restrict parking or minimize access during peak hours.

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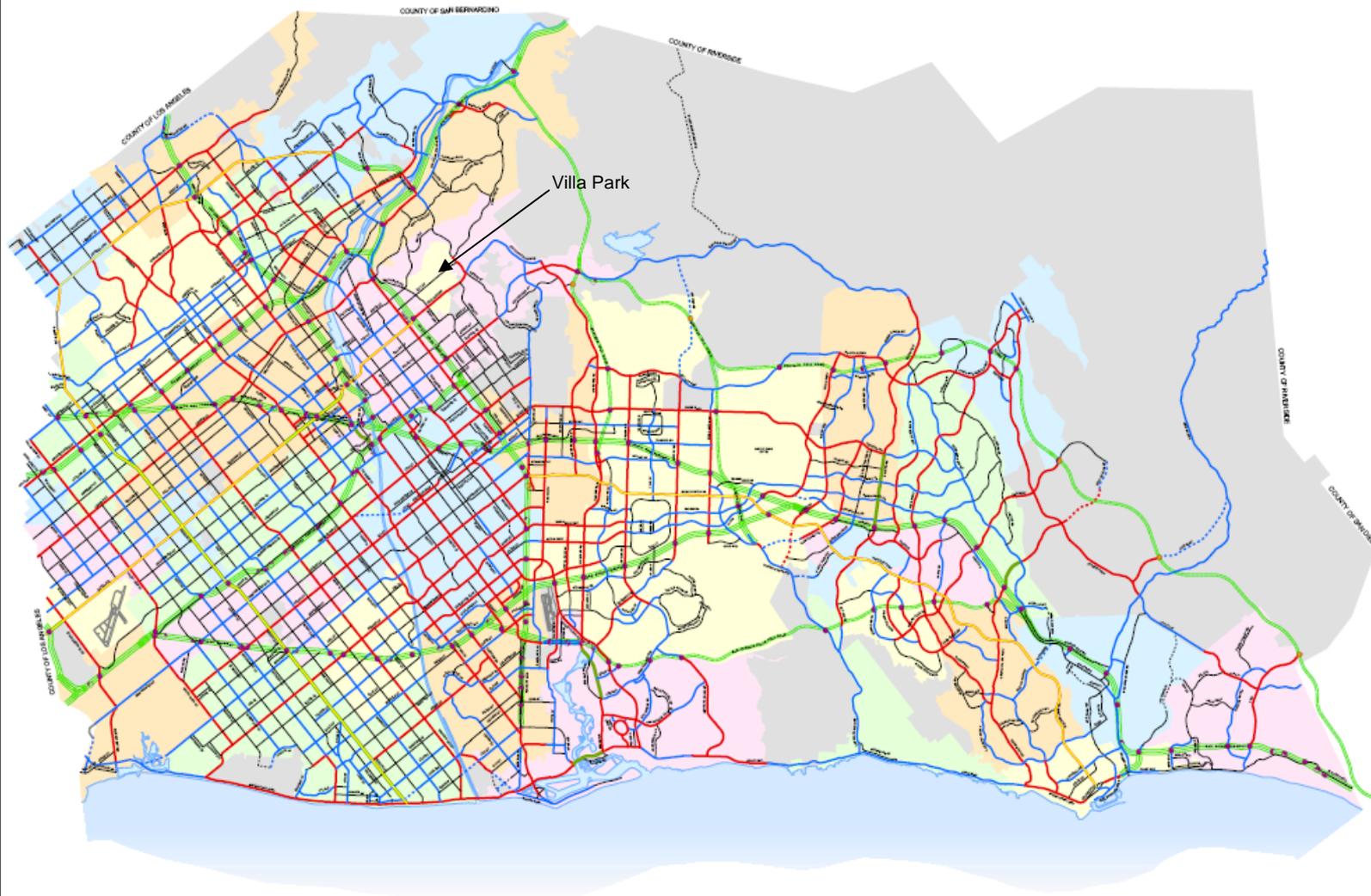


- LEGEND**
-  MAJOR ARTERIAL
 -  PRIMARY ARTERIAL
 -  SECONDARY ARTERIAL
 -  COLLECTOR
- SECONDARY ARTERIAL
 (PER CITY OF ORANGE CIRCULATION ELEMENT)



MASTER PLAN OF ARTERIAL HIGHWAYS

Orange County, California

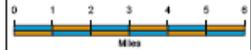


LEGEND

- ARTERIAL HIGHWAYS**
- ESTABLISHED ALIGNMENT
 - PROPOSED ALIGNMENT
 - PRINCIPAL
 - MAJOR
 - PRIMARY
 - SECONDARY
 - COLLECTOR
 - ROADS OUTSIDE OF OC SHOWN FOR CONTINUITY
 - FREEWAY
 - TRANSPORTATION CORRIDOR
 - SMART STREET 8 LANE
 - SMART STREET 6 LANE
 - SMART STREET 4 LANE
 - EXISTING INTERCHANGE
 - PROPOSED INTERCHANGE
 - RIGHT-OF-WAY RESERVE

- CLASSIFICATION**
- PRINCIPAL**
8 Lane Divided Roadway
Accommodates 45,000 to 60,000 ADT
 - MAJOR**
6 Lane Divided Roadway
Accommodates 30,000 to 45,000 ADT
 - PRIMARY**
4 Lane Divided Roadway
Accommodates 20,000 to 30,000 ADT
 - SECONDARY**
4 Lane Undivided Roadway
Accommodates 10,000 to 20,000 ADT
 - COLLECTOR**
2 Lane Undivided Roadway
Accommodates 7,500 to 10,000 ADT

EFFECTIVE DATE:
JULY 15, 2007



CITY BOUNDARY UPDATE:
January 2007
MAP UPDATE:
August 27, 2007



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Exhibit III-5

Non-Motorized Transportation

Bicycling and walking are key elements of Villa Park's planned circulation system. Maintaining a system of bicycle facilities is important for both recreation and transportation purposes. Bikeways provide links to schools, civic and neighborhood shopping centers within the region. The City's Master Plan of bikeways is shown in **Exhibit III-6**. The Plan includes both local trails, bikeways and regional trails that provide connections to Orange County bicycle routes. The City uses the following bicycle facility classifications:

- Class I (Bike Path/ Regional trail): are facilities at least 8 feet in width that are physically separated from vehicular roadways. These facilities can be used by both bicycles and pedestrians.
- Class II (Bike Lanes): consist of a painted stripe reserving at least five feet nearest the curb for bicycle use.
- Class III (Bike Routes): are designated only with signs.

The majority of the City of Villa Parks roadways with a collector or above classification are striped with a Class II bike lane, with the exception of Meats Avenue. All residential or local streets are considered to be Class III bike routes.

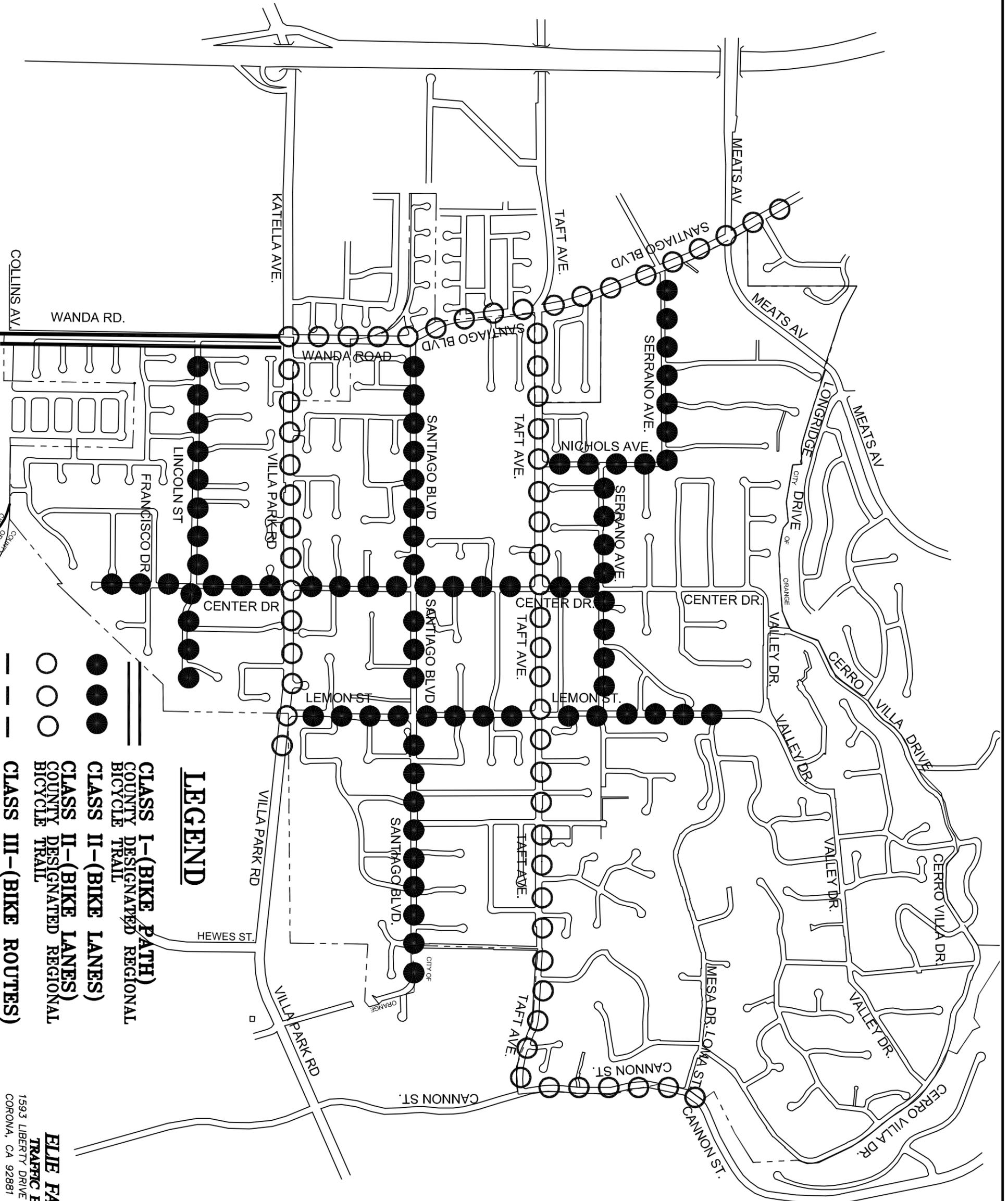
The Regional Non-Motorized Trail map is included as **Exhibit III-7**.

Truck Routes

The movement of goods and services throughout the City is an integral part of the economy of the City. Directing truck traffic to specially designated truck routes minimizes impacts that could occur on local roadways. The City has designated the following streets as truck routes with weight limitations:

- Wanda Road
- Villa Park Road
- Santiago Boulevard N/S
- Cannon Street

The City will monitor and examine dedicated truck routes periodically to ensure the safety of residents, neighborhoods and pedestrians.



LEGEND

- CLASS I--(BIKE PATH)
COUNTY DESIGNATED REGIONAL BICYCLE TRAIL
- CLASS II--(BIKE LANES)
- CLASS II--(BIKE LANES)
COUNTY DESIGNATED REGIONAL BICYCLE TRAIL
- CLASS III--(BIKE ROUTES)

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Orange County Bikeways Map

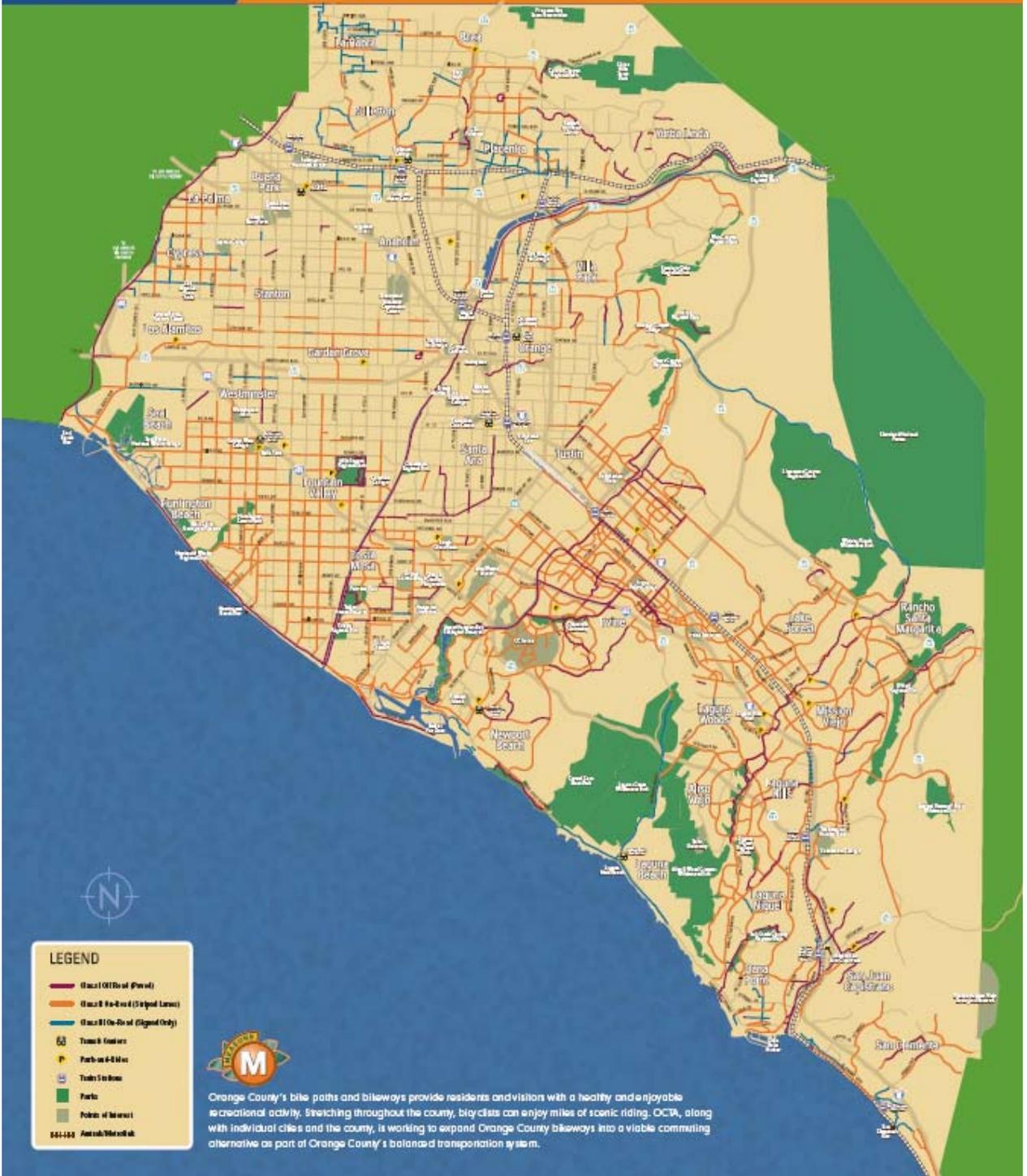


Exhibit III-7

Transit Service

Villa Park is served by the Orange County Transportation Authority (OCTA). OCTA provides public transit service, which links major employment centers and residential areas. Bus stops are provided along Wanda Road and Santiago Boulevard. In addition to the fixed route bus system, OCTA provides a paratransit service for frail elderly and special needs persons who are unable to utilize fixed route buses.

Local and Regional Public Transportation maps are available at City Hall.

Railroads

There are no railroads or stations within the City of Villa Park. The closest station is located in the City of Orange on Chapman Avenue, west of the traffic circle.

Airports

There are no airports within Villa Park or adjacent to the City. The Orange County John Wayne Airport (JWA) is located 8.7 miles south of Villa Park.

GOALS, POLICIES AND PROGRAMS

Circulation Goal #1: To provide a comprehensive transportation system that will address future growth and development within the City and in adjacent communities and minimize congestion.

Circulation Policies:

- C #1: Work with Caltrans and adjacent jurisdictions to improve the operational performance of highways within and adjacent to the City.
- C# 2: Maintain a peak level of service at intersections of “D” or better and along roadway segments of “C” or better.
- C #3: Discourage through traffic on local streets.
- C #4: Coordinate and cooperate with neighboring jurisdictions and Regional, State and Federal agencies to improve regional access for residents and workers.
- C #5: Assign street classifications to provide an acceptable level of service based on projected traffic demands, circulation functions and the areas that they are intended to serve.

Action Programs:

1. Support freeway improvements that divert through traffic from local and arterial streets.
2. Improve intersection operations by providing traffic signal maintenance and improvement measures such as synchronization of signals, left and right turn lanes, protected left turn phasing.
3. Improve roadway operations on major segments by minimizing interruption to traffic flow during peak commute periods with peak hour parking restrictions.
4. Provide adequate sight distances for safe vehicular movement on roadways at intersections and driveways.
5. Advocate regional arterial roadway alignment planning and construction that will divert regional traffic around the City of Villa Park.

6. Put in place traffic calming measures on local streets such as chokers, turn restrictions, road narrowing devices, curb extensions and added speed signage to discourage cut-through traffic.
7. Maintain Villa Park Road as a Primary Arterial to reflect intended function and operation.
8. Encourage the City of Orange to provide additional or enhanced routes to/from new development in East Orange.

Circulation Goal #2: Encourage the use of alternative means of transportation.

Circulation Policies:

- C #6: Support bicycle routes that minimize cyclist/motorist conflicts.
- C #7: Support Regional, State and Federal agencies in providing additional local fixed route bus and para-transit service to the City.
- C #8: Encourage the use of carpools and van pools whenever possible.

Action Programs:

9. Maintain a bikeway system that provides links to routes in neighboring communities and regional bicycle routes.
10. Encourage business and larger employment centers to provide bike racks and safe storage facilities at major parking areas.
11. Develop attractive bus stops that are accessible and convenient to use.

IV. HOUSING

CONTENTS

The Housing Element includes:

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INTRODUCTION

Purpose of the Element

Providing adequate housing for families and individuals of all economic levels is an important issue and particular focus for State and local governments. The California Legislature amended the Government Code in 1980 to require that each local community include in its Housing Element a specific analysis of its housing needs and a realistic set of programs designed to meet those needs. This Housing Element carries out the required analysis.

State Housing Law Requirements

The State Government Code describes the Housing Element as follows:

The Housing Element shall consist of an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement, and development of housing. The Housing Element shall identify adequate sites for housing, including rental housing, factory-built housing and mobile homes, and shall make adequate provision for the existing and projected needs of all economic segments of the community.

Authority for the Housing Element

Housing elements have been a required part of City General Plans since 1967. The current Government Code requirements have evolved over the past decades, including two major milestones:

1. In 1977, the Department of Housing and Community Development (HCD) published "Housing Element Guidelines". The "Guidelines" provided detailed content requirements of the Housing Element, and gave HCD a "review and approval" function over City's Housing Element.
2. In 1981, Article 10.6 of the Government Code was enacted, thereby revising HCD's role from "review and approval" to that of "review and comment" on local Housing Elements.

State law requires that the City's Housing Element be updated every 5 years. However, to coincide with the Regional Housing Needs Assessment (RHNA) mandated update, Villa Park's Housing Element will cover the 2006-2014 time period. The Element update provides information on the City's housing needs, resources and constraints, and revises the goals, policies, and objectives from the prior Housing Element.

California Environmental Quality Act (CEQA) Review

Most Villa Park projects are categorically exempt from CEQA. If a project is exempt from CEQA, the project proceeds directly to the City Council for review. If the project is not exempt, an initial study is prepared to identify potential environmental impacts that may be associated with the project, identify mitigation measures and determine the appropriate environmental review. If a Negative Declaration (ND) or Environmental Impact Report (EIR) is required, the City Manager or a City-approved consultant would prepare the document. The draft environmental document is circulated for public review and comment, as required by CEQA. If an EIR is required, the City Council holds a public hearing to take public comment on the draft document. Prior to the public hearing before the City Council on the project, public notice is made. If a Negative Declaration was prepared, the City Council adopts it at this hearing. If an EIR was required, the City Manger recommends certification to the City Council, who would then, adopt the findings and mitigation measures of the EIR and makes a statement of overriding considerations if it is warranted. For housing projects, affordability can be the basis for a statement of overriding consideration.

Community Overview

Regional Setting

The City of Villa Park (population 6,251) is located in north-central Orange County, approximately 15 miles northeast of the Pacific Ocean. Located near 6 major freeways that connect the City to other locations in Orange, Los Angeles and Riverside Counties, Villa Park is nearest to the Cities of Anaheim (pop. 345,556), Santa Ana (pop. 354,428), Tustin (pop. 70,871), and almost surrounded by the City of Orange (pop. 138,640).

Although the City has no direct freeway access (frontage), interstate and regional access to the City is provided predominantly by Interstate-5 also known as the Santa Ana Freeway. In addition, City connections from the Counties of Orange, San Diego, Los Angeles, Riverside, and San Bernardino are provided by freeways nearby, including State Route (SR) 57 (Orange Freeway), SR-55 (Costa Mesa Freeway), SR-22 (Garden Grove Freeway) and SR-91 (Riverside Freeway).

Local Setting

Villa Park is a small, predominantly residential community with few commercial businesses or professional offices. The City, which has the smallest population in Orange County, is without a large employment center or central business district. Geographically, Villa Park is almost completely surrounded by the City of Orange, with only a small amount of unincorporated Orange County separating the 2 cities on the south side of city limits. Villa Park contains no large expanses of vacant land or open space, and currently has no sphere of influence outside of its City Limits. There is no privately held vacant land adjacent to the City that could be annexed into Villa Park and developed.

Physically, Villa Park encompasses 2.1 square miles or 1344 acres of land. Within the City there is approximately 32.54 acres of vacant land. However, of the 32.54 vacant acres only approximately 5 acres are developable as the Santiago Creek Recharge Basin occupies a majority of the vacant land. The basin consists of an un-developable natural feature owned by the County of Orange. The remaining un-developable vacant land lies primarily within utility easements.

CITIZEN PARTICIPATION

The citizen participation process included review by the Citizens Advisory Committee, a period of public comment on the Draft Housing Element, review of the Draft Housing Element by the City Council, and Public Hearings on the final Housing Element. In order to involve the public, particularly low-income population and their representatives and/or advocates, the City completed the outreach efforts listed below:

- The Villa Park City Council formed a Citizens Advisory Committee made up of 5 Villa Park residents to work with staff to complete a draft of each Element, including Housing. This Committee was integral in analyzing and making recommendations on all aspects of the Housing Element.
- The City notified by letter and solicited input from the following groups and non-profit housing organizations: County of Orange Housing and Community Development, Orange Housing Development Corporation, Orange County Housing Authority, and the Affordable Housing Clearinghouse. A copy of the draft was also provided to Orange County's Kennedy Commission for review and comment.
- The City published in a local newspaper a Notice of Availability of the Final Draft Housing Element. The notice stated that comments on the final draft document could be made to the City during a 30 day period.
- Copies of the Housing Element are available at the local library, City Hall and on the City's web-site.
- Each public hearing held by the City Council was noticed. Notice of each meeting involving the General Plan was published in the local newspaper, sent to all homeowners' associations and various State and Local Agencies.
- The City's notices are made equally available to residents of all income levels

PROGRESS REPORT

A successful strategy for improving housing conditions must be preceded by a progress report of the prior Housing Elements effectiveness, progress and appropriateness as described in Section 65588(a) of the Government Code.

Effectiveness

The City's prior Housing Element was adopted in June of 2001. The quantified objective was 18 new housing units – 11 for the above-moderate income group and 7 second dwelling units to satisfy the City's RHNA requirement for very-low, low and moderate income households. Since adoption of the June 2001 Housing Element, 16 housing units were constructed for the above-moderate income group. In addition, 13 second dwelling units were constructed thereby exceeding the quantified objectives.

The second action called out in the City's 2001 Housing Element was the provision that the City prepare and make available an inventory and directory of affordable housing resources available in the City, nearby cities and through the County of Orange and the Orange County Housing Authority. To satisfy this requirement the City added links to its web page directing inquiries to the County of Orange, the Orange County Housing Authority and surrounding cities.

The third action described actions to be taken regarding the development of second units. During the program period the City developed a flier detailing secondary unit development within the City and the specific requirements and made available at City Hall and on its web site. Second unit information was also distributed to homeowners associations, the local public library, and to senior centers located very near the City. The quantified objective of developing 7 secondary units within the City was accomplished and exceeded.

The final action described in the City's 2001 Housing Element stated that the City would encourage the County of Orange to fund the activities of the Senior Citizen Homesharing Program.

Progress in Implementation

The June 2001 Housing Element adopted 1 goal and 6 policies. The City's housing goal is to continue to meet the statewide goal of *a decent home and suitable living environment for all people*.

The City of Villa Park utilized policies such as:

1. Maintaining a housing stock free of substandard conditions;
2. Accommodating the special housing needs of the elderly, frail elderly and handicapped populations through the development of new second dwelling units;
3. Meet the needs of low-income persons through the development of new second dwelling units;
4. Continue to comply with State and Federal housing laws and regulations;
5. Promoting and ensuring open and free choice of housing for all;
6. Promoting equal opportunity of choice throughout the housing market area for all residents regardless of race, creed, national or ethnic origin.

Appropriateness of Goals, Objectives, and Policies

The City of Villa Park is confident that the goals, objectives and policies adopted during the 2001 General Plan update provided results demonstrating a successfully implemented Housing Element. The 2008 General Plan update will continue the aforementioned goals, objectives, policies and programs. Most of the goals and policies have been retained or revised to reflect the City's housing needs, resources and constraints.

Conclusions and Findings

This Housing Element Update documents the efforts of the City of Villa Park to identify and meet its housing needs for the 2006-2014 planning period. The City of Villa Park promotes the provision and maintenance of affordable housing. Villa Park seeks to provide housing opportunities for all income levels and special needs groups despite the limited availability of developable land and financial resources in the City. The vast majority of remaining undeveloped land in Villa Park is encumbered by one or more of the following:

- Santiago Creek Recharge Basin consists of approximately 26 un-developable acres.
- Limited stock of single family infill parcels, and/or properties located in areas that can be developed further due to topography or other limiting geographical issues.

The City has actively endeavored to overcome these limitations and proposes realistic strategies to meet its RHNA obligation for the current planning period. Housing strategies include amending the City's Zoning Code to ensure consistency with State SB2 requirements.

HOUSING NEEDS ASSESSMENT

A successful strategy for improving housing conditions must be preceded by an assessment of the housing needs of the community and region as required by Government Code Section 65583(a).

Population

Villa Park had a population of 5,999 as per the 2000 Census. This represented a 1.7% population decrease between 1990 and 2000. The population loss was largely attributed to the aging of the community and young adults or college students leaving home. Table IV-1 presents a summary of population and housing indicators for 2000 and 2007. During the past seven years, the population has increased by 252 persons (4%). As verified by city staff, 100% of the population lives in single-family housing units. Although 13 housing units were added to the supply between 2000 and 2007, the basic population characteristics have remained relatively unchanged.

Most of the City’s households and housing are located in two census tracts – 758.09 and 758.10. Thirty-two housing units are located in census tract 758.11, 10 are located in census tract 758.13, and 14 are located in census tract 758.14. Of the 1,063 housing units located in tract 758.09, 38 are located in Orange and 1,025 in Villa Park. Of the 1,019 housing units located in tract 758.10, 113 are located in Orange and 906 in Villa Park. As a result, some of the characteristics in each tract may be attributable to housing in Orange and not Villa Park.

**Table IV-1
City of Villa Park
Population and Housing Indicators – 2000 and 2007**

	<i>2000¹</i>	<i>2007²</i>	<i>Change</i>
Population	5,999	6,251	+252
Household Population	5,978	6,227	+249
Group Quarters Population	21	24 ³	+3
Total Housing Units	2,008	2,021	+13
Single Family Detached	2,008	2,021	+13
Single Family Attached	0	0	0
2-4 Units	0	0	0
5+ Units	0	0	0
Mobile Homes	0	0	0
Occupied Units	1,950	1,963	+13
Vacant Units	58	58	0
Persons Per Household	3.07	3.17	+0.10

Source: ¹2000 Census of Population and Housing, Table DP-1, Profile of General Demographic Characteristics: 2000
²State Department of Finance, Orange County Population and Housing Estimates, Series E5, January 1, 2007
³State of California Department of Developmental Services
 Table Constructed by the City of Villa Park

The population projections are based on the housing unit potential. As of March 2008, there is estimated to be the potential for the development of a maximum of 32 new single-family residential parcels. Thus, the housing supply would, at build-out, equal approximately 2,053 housing units. Population at build-out is projected to be a 6,321 (2,053 units less approximately 59 vacant units times 3.17 persons per occupied unit). These calculations do not take into consideration the potential number of new secondary dwelling units. Table IV-2 indicates the City’s housing growth trends.

**Table IV-2
City of Villa Park
Housing Growth Trends – 2000 to Build Out**

<i>Year</i>	<i>Housing Units</i>	<i>Increase</i>	<i>Percentage Increase</i>
2000 ¹	2,008	-----	-----
2007 ²	2,021	13	1.0%
Build Out ³	2,053	32	1.6%

Source: ¹2000 U.S. Census of Population and Housing, Table DP-1, Profile of General Demographic Characteristics: 2000.
 ²State Department of Finance, Orange County Population and Housing Estimates, Series E5, January 1, 2007
 ³Build Out estimates based on Villa Park GIS database information.
 Table constructed by The City of Villa Park

Employment Projections

Villa Park is a small residential community surrounded by the City of Orange. Because the City has limited opportunity for growth, and because the community is mostly “built-out”, there is little opportunity for commercial growth. It is assumed that the City exports a majority of it’s workforce to the larger nearby communities of Orange, Anaheim, Santa Ana, Irvine, and points beyond. The City currently has one neighborhood-oriented shopping center comprised of 60,000 square feet of retail/professional space on 10-acres. The Villa Park Towne Center is the location of the only commercial use within the City. The shopping center is also the site of City Hall and the Villa Park branch of the Orange County Public Library. Although the mix of uses at the neighborhood shopping center has changed slightly in the last 5 years, the occupancy levels have remained unchanged.

Currently, the largest employer within Villa Park is the Orange Unified School District. The School District operates 4 schools within the city, to include 2 elementary schools, a middle school and a high school. In Villa Park, the School District employs roughly 225 full-time employees, and another 75 part-time employees. Remaining jobs are located primarily in the City’s commercial Towne Centre.

Because the commercial center within Villa Park existed prior to the 2000 Census and there have been no new shopping centers or schools built within the last 10 years, it is assumed that the City’s employment has not increased/decreased significantly over the same time period.

Household Characteristics

The following section summarizes the relationship between household income and housing costs for both owner and renter occupied units. According to the most recent Census data, approximately 33% of households in Villa Park are overpaying for their housing (spending greater than 30% of income on housing cost). Overpayment is more concentrated among owner occupied households, with 34% of owner households overpaying in comparison to 18% of renter households. Lower income households also experienced a greater incidence

of overpayment, with 53% of lower income owner occupied households overpaying for housing. As a means of assessing the current housing market in Villa Park, housing sales and rentals can be compared with household incomes. With an average sale price of \$1.3 million, monthly mortgage payments in the neighborhood of \$8,000, and average monthly rental costs of \$4,850 in 2007, only above-moderate income households can afford to purchase or rent a single-family home in Villa Park.

Affordable housing needs in Villa Park are met through the construction of secondary dwelling units. Secondary dwelling units are permitted to be rented, but secondary dwelling units are prohibited from being sold as a residence.

**Table IV-3
Housing Cost as a
Percentage of Household Income**

Owner Occupied Units							
Income Range	Total Household (HH)	% of Total Households	0-20% of HH Income	20-29% of HH Income	30-34% of HH Income	35+% of HH Income	
\$0-10,000	24	1%	0	0	0	24	
\$10,000-19,999	40	2%	0	0	0	40	
\$20,000-34,999	88	5%	38	10	6	34	
\$35,000-49,999	133	8%	39	30	14	50	
\$50,000 +	1,486	84%	737	312	94	343	
Subtotal	1,771	100%	814	352	114	491	
Renter Occupied Units							
Income Range	Total Households	% of Total Households	0-20% of HH Income	20-29% of HH Income	30-34% of HH Income	35+% of HH Income	Those Not Computed
\$0-10,000	0	0%	0	0	0	0	0
\$10,000-19,999	0	0%	0	0	0	0	0
\$20,000-34,999	13	14%	0	0	0	4	9
\$35,000-49,999	17	18%	4	6	0	0	7
\$50,000 +	64	68%	42	4	0	13	5
Subtotal	94	100%	46	10	0	17	21

Source: 2000 Census of Population and Housing, Summary Tape File 3, Table H73 and H97, Household income in 1999 by gross rent and monthly owner costs as a percentage of household income in 1999.
Table constructed by the City of Villa Park

**Table IV-4
Percentage of Low-Income
Households Overpaying for Housing**

Owner-Occupied Units		
Households with incomes less than 80% Area Median Income (AMI)	Paying 30% or More of HH Income	Percent
325*	175	53%
Renter-Occupied Units		
Households with Incomes less than 80% AMI	Paying 30% or More of HH Income	Percent
35*	6	17%

*Total is approximate
AMI is approximately \$65,000

Source: 2000 Census of Population and Housing, Summary Tape File 3, Table H73 and H97, Household income in 1999 by gross rent and monthly owner costs as a percentage of household income in 1999
Table constructed by the City of Villa Park

**Table IV-5
City of Villa Park
Household Characteristics**

	<i>Owner</i>	<i>Renter</i>	<i>Total</i>
Number of Existing Households	1771	94	1865
Households Overpaying for Housing	605	17	622
Lower Income Households Overpaying*	175	6	181
Total Existing Extremely Low Income Households (<30% AMI)*	62**	0	62**
Total Projected Extremely Low Income Households	62	0	62

* Based on 2000 AMI
** Total is approximate

Source: 2000 Census of Population and Housing, Table H73 and H97, Household income in 1999 by gross rent and monthly owner costs as a percentage of household income in 1999
Table constructed by the City of Villa Park

Housing Stock Characteristics

Housing Stock Condition

The age of housing is sometimes an indicator of potential housing quality problems. Almost two-thirds of the housing supply was built after 1970. Because there is limited potential for new units, the average age of the stock will increase in the years ahead; considering the number of high quality renovations and the community pride of ownership, housing stock conditions are not expected to drop below a level considered deteriorating.

**Table IV-6
City of Villa Park
Age of Housing Stock by Year Built-**

<i>Year Built</i>	<i>Number of Units</i>	<i>Percent</i>
1939 or Earlier	31	1.5
1940 to 1949	13	0.6
1950 to 1959	70	3.4
1960 to 1969	565	27.6
1970 to 1979	1,137	55.6
1980 to 1989	79	3.9
1990 to 1994	75	3.7
1995 to 1998	44	2.1
1999 to March 2000	32	1.6
Total	2,046	100.0%

Source: 2000 Census of Population and Housing, Table H34, Year Structure Built.
Table construction by the City of Villa Park

Definitions of two substandard housing categories are:

Deteriorating – not more than 2 intermediate (slight) defects or 1 major defect but still providing safe and adequate shelter.

Dilapidated – several intermediate defects or a critical defect plus extensive evidence of neglect or serious damage.

The housing units that are classified as deteriorating generally are considered amendable to some degree of rehabilitation. Dilapidated housing, however, is in such a state of disrepair that rehabilitation is no longer economically feasible and the unit should either be removed or replaced.

When considering historical maintenance of existing housing stock, during the program period there is estimated to be no housing located in the City considered to have substandard conditions which would require the replacement of the housing unit. An estimated 1% or 20 housing units are considered deteriorating and in need of rehabilitation.

The median price of homes in Orange County as of February 2000 was \$589,000. Acxion/DataQuick data indicate that for the Villa Park zip code (92861), the median price in 2007 was \$1,300,000. The age of the stock, combined with the high values keeps market demand high, and consequently applies market pressure for the maintenance of housing quality.

Overcrowding

Overcrowding is one result of the shortage of interior living space. The overcrowding measure most frequently used to estimate overcrowded households is a housing unit with 1.01 or more persons per room, excluding bathrooms, halls, foyers, and porches. “Severe” overcrowding is measured by the number of housing units with 1.51 or more persons per room. An “overcrowded” housing unit does not necessarily imply one of inadequate physical condition.

Overcrowding reflects the financial inability of households to buy or rent housing units having enough space for their needs. Consequently, overcrowding is more appropriately considered a household characteristic (instead of a housing structural condition) and falls within the meaning of special housing needs such as large families are so considered. Overcrowding also may be a temporary phenomenon since some households will move to larger housing units to meet space requirements.

2006 Orange County Overcrowding Rates

According to the 2006 American Community Survey, the percentage of overcrowded units countywide was 9%. The 2006 data is provided below in Table IV-7.

**Table IV-7
Orange County Overcrowding Rates – 2006**

<i>Persons per Room</i>	<i>Housing Units</i>	<i>Number Percent</i>
1.00 or less	888,635	91%
1.01 to 1.50	57,632	6%
1.51 or more	24,941	3%
Total	971,208	100.0%

Source: 2006 American Community Survey
Table constructed by The City of Villa Park

Overcrowding in Villa Park

Overcrowding is not a problem in Villa Park. According to the 2000 Census, 1.5% of all households lived in units with 1.01 to 1.50 persons per room and less than .2% lived in units with 1.51 or more persons per room. As with overpayment, the size of the problem does not reach the thresholds that would require the City to initiate a program.

**Table IV-8
City of Villa Park
Persons Per Room by Tenure**

<i>Persons Per Room</i>	<i>Owner</i>	<i>Renter</i>	<i>Total</i>	<i>Percentage</i>
<1.00	1,858	75	1,933	98.2%
1.01 to 1.50	17	14	31	1.6%
1.51 or more	5	0	5	0.2%
Total	1880	89	1,969	100%

Source: 2000 Census of Population and Housing, Summary Tape File 1, Table H20, Tenure by Persons Per Room
Table constructed by The City of Villa Park

Housing Costs

According to data from the California Association of Realtors, overall ownership housing costs in Villa Park are more than double that of the Countywide median as shown in Table IV-9. The median value of home sales in December 2007 was approximately \$1,300,000, compared to \$618,500 in Orange County. Median home prices in surrounding jurisdictions range from \$468,000 to \$800,000.

**Table IV-9
Orange County
Median Area Housing Sale Prices - 2007**

<i>Jurisdiction</i>	<i>ZIP Code</i>	<i>Median</i>	<i>Percent Change from 2006</i>	<i>Sales</i>	<i>Percent Change from 2006</i>
City of Villa Park	92861	\$1.3 Million	6.8%	50	-27.5%
City of Orange	92867	\$642,250	0.0%	333	-31.3%
City of Orange	92868	\$468,000	-8.2%	114	-40.6%
City of Santa Ana	92705	\$800,000	0.0%	295	-28.0%
Orange County		\$618,500	-1.9%	27,294	-30.6%

Source: California Association of Realtors, 2007
Table constructed by the City of Villa Park

Home prices in Villa Park have increased over time with the median home price increasing 6.8% in 2007. Compared to the County and surrounding cities, Villa Park was one of the few cities that experienced an increase in median home prices. Overall the County's home prices decreased 1.9% and experienced value changes ranging from decreases of 15.3% to increases of 15.6% at the City level.

All homes sold in Villa Park were detached single-family residential units. Based on information gathered from the Southern California Multiple Listing Service (MLS), from August 1, 2007 to February 29, 2008 there were 18 homes sold within the City of Villa Park. Of those 18 homes the average sale price was \$1,490,500. From January 1, 2007 to

February 29, 2008 there are an estimated 17 homes listed as rental properties, of which 6 are available for rent. The average monthly cost of those rental properties is approximately \$4,850.

Housing Units by Type

The California Department of Finance estimated that in 2007 the City had 2,021 housing units. As shown in Table IV-10, there is a disparity in the totals for each housing classification calculated by the State and the City. The City does not have a Land Use classification that permitted multi-family or attached housing, and records and site inspections conducted by staff confirm that none exist.

**Table IV-10
City of Villa Park
Housing Supply Characteristics – January 1999**

Type of Unit	As reported by DOF		As reported by City of Villa Park	
	Number of Units	Percent	Number of Units	Percent
1 unit, detached	1,992	98.6%	2,021	100%
1 unit, attached	18	0.9%	0	0%
2 to 4 units	0	0.0%	0	0%
5+ units	6	0.3%	0	0%
Mobile homes	5	0.2%	0	0%
Total:	2,021	100%	2,021	100%

Source: California Department of Finance, Demographic Research Unit, Orange County Population and Housing Estimates, January 1, 2007.
Table constructed by the City of Villa Park

Vacancy Rates

Vacancy rates for all housing units in Villa Park have remained steady at approximately 3% for the last 17 years and are expected to remain relatively consistent over the upcoming Housing Element implementation term.

Special Housing Needs

Certain population groups are considered to have special housing needs. These groups include: handicapped persons; the elderly; large households (5+ persons); farm workers; female householders' and homeless persons in need of emergency shelter.

In many cases, the needs of these population groups are met in housing specifically designed for them. The RHNA data shows that none of these groups constitute a significant segment of the City's population. This condition, in turn, means that the economies of scale do not exist to facilitate the development of housing designed specifically for the unique needs of these populations.

Handicapped Persons

The Federal Rehabilitation Act of 1973, Section 104.3(l) defines a disabled person as “any individual who has a *physical or mental impairment* which substantially limits one or more major life activities, has record of such impairment, or is regarded as having such an impairment.”

The handicapped population encompasses several distinct groups such as, but not limited to, the physically handicapped, developmentally disabled, and severely mentally ill. The special housing needs of these populations are addressed by providing affordable housing costs and housing with design features that facilitate mobility and independence.

Data on handicapped indicators is limited to the 2000 Census as information was collected on “mobility or self-care limitations.” In the 2000 Census, persons were identified as having a *self-care limitation* if they had a health condition that lasted for 6 months or more and which made it difficult to take care of their own personal needs, such as dressing, bathing, or getting around inside the home. Persons were identified as having a *mobility limitation* if they had a health condition that lasted 6 months or more and which made it difficult to go outside the home alone to conduct activities such as shopping and visiting the doctor’s office.

According to the 2000 Census, 467 persons had a mobility or self-care limitation:

15 persons	5-20 years
253 persons	21-64 years
199 persons	65+ years

Total Population: 5,999

The above data reflects self-reported statistics based on the 2000 Census. A total of 7.7% of the population is affected by some type of disability. Although, to this date the City has not received a request for housing for disabled or handicapped persons. However, looking at the employment status of affected individuals 21 to 64 years of age, 59.3% are employed, indicating that a strong percentage have ability to support themselves financially.

Elderly

Elderly persons experience 4 main concerns:

1. *Income*: People over 65 are usually living on a fixed income.
2. *Health Care*: Because the elderly have a higher rate of illness and dependency, health care and supportive housing is important.
3. *Transportation*: With increasing age and disabilities, many seniors may become transportation dependant and require alternatives to the limited fixed route bus system. The Orange County Transportation Authority (OCTA) ACCESS system

provides both curb to curb and door to door special transportation for eligible elderly and handicapped persons.

4. *Housing:* Many live alone and are cost burdened, and some elderly need appropriate supportive housing.

When the 2000 Census was taken, Villa Park’s population was 5,999 persons. An estimated 885 persons were 65 years and over – 14.8% of the population. Table IV-11 shows the population distribution of all persons 55+ years old. There is likely to be more persons 62+ years given the relative numbers of persons 55-64 compared to the population at 65+ years.

**Table IV-11
City of Villa Park
Population Distribution – Persons 55+ Years**

<i>Age Group</i>	<i>Male</i>	<i>Female</i>	<i>Total</i>
55 – 59	293	238	531
60 – 61	75	96	171
62 – 64	139	129	268
65 – 69	190	235	425
70 – 74	152	115	267
75 – 79	39	60	99
80 – 84	20	22	42
85+	24	28	52
Total	932	923	1,855

Source: 2000 Census of Population and Housing, Table P8, Sex by Age
Table Constructed by the City of Villa Park

Senior householders comprise 1 of 9 households. Of the 480 senior householders 65+ years, 465 were owners and 15 were renters. Given the high ownership rates, the “affordability” needs are not extensive enough to warrant program initiative by the City. This breakdown is represented in Table IV-12.

**Table IV-12
City of Villa Park
Age of Householders by Owners and Renters**

<i>Age of Householder</i>	<i>Owner</i>	<i>Renter</i>	<i>Total</i>	<i>Percentage of total households</i>
15 – 24	0	0	0	0.0%
25 – 34	24	6	30	1.5%
35 – 44	344	23	367	18.6%
45 – 54	488	37	525	26.7%
55 – 59	307	0	307	15.6%
60 – 64	247	13	260	13.2%
65 – 74	356	11	367	18.6%
75 – 84	89	4	93	4.8%
85+	20	0	20	1.0%
Total	1,875	94	1,969	100.0%

Source: 2000 Census of Population and Housing, Table H14, Tenure by age of Householder, Table Constructed by the City of Villa Park

Large Families

Large-families households may experience a greater incidence of overcrowding due to a lack of means to purchase enough space. Even with adequate financial means, the housing supply may fall short of accommodating all large families because of low vacancy rates.

Large families are defined as those consisting of five or more persons. According to the 2000 Census, 332 of the City’s 1,969 households had five or more persons (16.9%). Of the 332 large families, 303 were owners and 29 were renters. This information is also represented in Table IV-13.

**Table IV-13
City of Villa Park
Household Size by Owners and Renters**

<i>Number of Persons in Household</i>	<i>Owners</i>	<i>Renters</i>	<i>Total</i>	<i>Percentage</i>
1	127	25	152	7.7%
2	732	6	738	37.5%
3	326	25	351	17.8%
4	387	9	396	20.1%
5	194	12	206	10.5%
6	60	12	72	3.7%
7 or more	49	5	54	2.7%
Total	1,875	94	1,969	100.0%

Source: 2000 Census of Population and Housing, Table H17, Tenure by Household Size Table constructed by The City of Villa Park

The income, overpayment, and overcrowding conditions of large families are difficult to determine. The City does not anticipate a need to initiate a program given the fact that more than 95% of large families in Villa Park are home owners.

Farm workers

According to the 2000 Census, 23 people age 16 years and over were employed in the “agriculture, forestry and fisheries” industry. The total employed persons over the age of 16 were 2,941, so persons employed in this industry accounted for 0.7% of the population. The 2000 Census also reported 0 people age 16 years and over were employed in “farming, forestry and fishing” occupations.

Farm workers in the past were housed at the Villa Park Orchard Association’s facility, a facility that no longer exists. When combined, 3 small scale wholesale nurseries currently occupy approximately 5.3 acres of power line easements within the City. There currently are no orchards, row crops or other like facilities located in the City that would employ “farm workers”, indicating that the residents employed in this industry are likely to hold management positions in agriculture related firms.

Families with Female Heads of Households

Single parent households often require special consideration and assistance due to their greater need for affordable and accessible daycare, healthcare, and other supportive services. In particular, female-headed households with children tend to have lower incomes than other types of households thereby inherently limiting their housing options and access to supportive services. At the time of the 2000 Census, a female headed 260 of the family households and 117 of the non-family households in Villa Park, 13.2% of the 1,969 total.

Families and Persons in Need of Emergency Shelter

The definition of homeless, homeless persons and homeless families are:

Homeless: An individual or family who: 1) lacks a fixed, regular and adequate nighttime residence; and 2) has a primary nighttime residence that is a) a supervised publicly or privately operated shelter designed to provide temporary living accommodations such as welfare hotels, congregate shelters, and transitional housing for the mentally ill; b) an institution that provides a temporary residence for the individuals intended to be institutionalized; or c) a public or private place not designed for, or ordinarily used, as a regular sleeping accommodation for human beings.

Homeless Person (Individual): A youth (17 years or younger) not accompanied by an adult (18 years or older) or an adult without children.

Homeless Family with Children: A family that includes at least one parent or guardian and one child under the age of 19; a pregnant woman; or a person in the process of securing legal custody of a person under the age of 19; who is homeless.

Subpopulations: Homeless persons with service needs related to severe mental illness (SMI) only; alcohol/other drug abuse (AODA) only; SMI and AODA; domestic violence; AIDS/related diseases; and other special service needs.

The homeless tend to live in areas adjacent to mass-transit facilities such as freeways, train stations and bus terminals and areas with high concentrations of churches. The fact that there are no mass-transit facilities or churches in Villa Park is a significant reason that there is no congregation of homeless persons. Based on the 2000 Census and conclusions from a number of resources which include: random field surveys conducted by the City Building Inspector and the City's Managers Office; no reported cases from the Orange County Sheriff Department (local office located at City Hall); and, no reported cases from local residents, all evidence indicates that there are no unsheltered homeless persons in Villa Park.

Enacted on January 1, 2008, Senate Bill 2 (SB 2) set forth requirements for cities and counties to identify specific sites through zoning ordinances to accommodate a community's need for emergency homeless shelters regardless of an actual community's needs for such shelters. By definition, an emergency homeless shelter is a use that accommodates a homeless individual for a period of time up to 6 months. SB 2 also requires cities and counties to identify zones where special needs facilities and transitional housing are permitted either by right or with a conditional use permit, and prohibits a city or county from disapproving applications for shelters and special needs facilities unless specified findings are made. To address this legislative requirement the emergency homeless shelters will be permitted in the E-4-20,000 zoning district by right and in the R-1 zoning district with a conditional use permit.

Analysis of Opportunities for Energy Conservation

In relation to new residential development and especially affordable housing, construction of energy efficient buildings does add to the original production costs of ownership and rental housing. Over time, however, housing with energy conservation features will have reduced occupancy costs as the consumption of fuel and electricity is decreased. This means the monthly housing costs may be less than what they otherwise would have been if no energy conservation devices were incorporated in the new residential buildings. Reduced energy consumption is recognized as one way of achieving more affordable housing costs

The City recognizes that there are several ways to achieve energy conservation in new and existing housing. The potential for energy conservation in new development is limited when considering Villa Park's limited potential for growth. However, all modification to existing residential structures must meet Title 24 Energy Conservation Standards and the standards set forth in the 2006 Edition of the Uniform Solar Energy Code.

With no Economic Development or Housing Department it is not financially feasible at this time for Villa Park to provide incentives to encourage green building techniques and materials in new and resale homes or facilitate energy conserving retrofits upon resale of homes. However, it is the intent to actively encourage such techniques and to direct interested parties to applicable information sources

Analysis of Assisted Housing at Risk of Conversion to Market Rate Housing

All housing in Villa Park is comprised of detached single-family units which have been privately built and financed. Villa Park relies on secondary dwelling units to provide affordable housing. No government or non-governmental organization assisted housing is located within the City. Thus, there are no affordable multi-family rental housing units that are at risk of conversion to market rate housing.

Regional Housing Need Assessment (RHNA)

The Southern California Association of Governments (SCAG) and the Orange County Council of Governments (OCCOG) are responsible for the assessment of the region’s existing and future housing needs, as a 4 year projection. Orange County was allocated a “housing need” of 82,330 units for the period from January 2006 through June 2014. As indicated by Table IV-14, Villa Park was allocated 11 units as its “share of the regional housing need.”

**Table IV-14
City of Villa Park
Share of Regional Housing Need
January 1, 2006 — June 30, 2014**

<i>Income Category</i>	<i>Number of Housing Units</i>	<i>Percentage</i>
Very Low - Less than 50% of County median	3	27%
Low - 51%-80% of County median	2	18%
Moderate - 81%-120% of County median	2	18%
Above Moderate - Above 120% of County median	4	37%
Total	11	100%

Source: SCAG RHNA 2006, Housing Need.
Table constructed by The City of Villa Park

During the time period of January 2006 to August 2008, 8 secondary units were constructed or had permits issued and 6 single-family homes were constructed or had permits issued.

Options with which second units can accurately be credited to a specific income level are limited. The City has no Economic Development or Housing Departments that subsidize second unit development, which could require that the unit maintain affordability. In lieu of this the methodology the City will be using will involve contacting (example letter attached at end of element as **Exhibit IV-1**) second unit owners (those built within the planning period) to inquire as to the unit’s rental price. Those rental prices will compared to AMI and income categories defined in Table IV-14. The City will request of future secondary unit developers an intended rental price; keeping in mind that in all cases providing this information is completely voluntary. Rental information is detailed in Table IV-15.

**Table IV-15
City of Villa Park
Second Unit Rental Information**

Income Category	Qualifying Rental Price Range*	Number of Second Units
Very Low	< \$979	2
Low	\$998 - \$1,566	-
Moderate	\$1,585 - \$2,349	-
Total		2

* Qualifying rental price range is based on an Orange County Median Income of \$78,300, income categories defined in Table IV-14, and assumes that the monthly rent is affordable ($\leq 30\%$ of monthly income).

Three secondary units have been allocated to the very-low income need, two to the low-income need, and two to the moderate income need. All new single-family units have been allocated to the above moderate income level.

SITES INVENTORY AND ANALYSIS AND ZONING FOR A VARIETY OF HOUSING TYPES

The State Government Code requirements for sites inventory and analysis and zoning for a variety of housing types are described in Sections 65583(a)(3), 65583(c)(1) and 65588883.2.

Sites Inventory

The following Exhibits (included as attachments at the end of the element) detail information related to the Site Inventory:

- **Exhibit IV-1** is a sample of the letter sent to property owner asking to identify the rental value of their secondary dwelling unit.
- **Exhibit IV-2** indicates developable vacant lots and those with the potential to subdivide into more than four.
- **Exhibit IV-3** details a listing of properties by parcel number, size, General Plan and Zoning designations, and a description of existing uses in spreadsheet format. Those parcels shown represent a random sampling from all parcels within the City.

Sites Inventory Analysis of Suitability and Availability

The City’s RHNA, in total and by income level, for the 2006-2014 planning period, has been met through the development of secondary dwelling units and new single-family units.

Environmental Constraints

Within the City of Villa Park there are two documented environmental constraints to the development of residential projects:

1. The presence of 100-year and 500-year flood plain zones. These constraints are mitigated by the City's participation and application of the Federal Emergency Management Agencies (FEMA) National Flood Insurance Program (NFIP).
2. Two earthquake faults lie within residential zoning districts. Environmental constraints related to earthquake faults located within the City are addressed through the application of the most current California Building Codes and the plan check review process.

Infrastructure Including Planned Water, Sewer, and Other Dry Utility Supply

Water - Serrano Water District (SWD) serves the City of Villa Park. SWD receives its water supply from local surface water which is stored in Irvine Lake and groundwater from three wells located within the City of Villa Park. The District uses 4,200 - 4,400 acre feet of water annually, which does include customers in the City of Orange.

The SWD owns 50% of Irvine Lake, 25% of the water in the Lake, and is the managing district for the Lake (facility and recreation). With 43 miles of pipe, 3 wells, a treatment plant, and two reservoirs, all infrastructure needed to support expected future infill development in Villa Park is already in place.

Sewer System - The City owns and operates a sanitary sewer system in coordination with the Orange County Sanitation District for the benefit of the residents of the community. The system was constructed primarily in the 1960's and 70's and is built out. The system consists of approximately 153,000 linear feet (29 miles) of collector and trunk sewer mains ranging in size from 8 to 15 inches in diameter. Some of the trunk mains are joint use mains with the City of Orange. It is estimated there are about 26 operating septic tank systems remaining in the City.

A "Sewer Service User Charge," which is assessed on the property tax roll and based on land use, is for maintenance and rehabilitation of the sewer system within the City. The Orange County Sanitation Districts, of which Villa Park is a member, assesses a "sewer hook-up fee" and a "sewer acreage fee" to support the regional treatment facilities, operations, and new trunk lines.

Storm Drain System - The City operates a drainage system consisting of open channels, pipe and box conduits and various types of inlet structures. Land use is a significant factor in the calculation of the development of the system. The total drainage area of the system is 2.5 square miles and includes some areas outside the City boundaries. The City system was started in the 1960's and has expanded with development. A key element of the system is the Center Street Storm Drain that runs from Mesa Drive down to Serrano Avenue and proceeds down Center Street to Santiago Creek. That portion of the system is owned and operated by the Orange County Flood Control District. In 1997 the City adopted a Master Plan of Drainage that identified certain deficiencies in the system. The City is addressing these on a priority basis as funds permit.

Dry Utilities - All areas where future development has the potential to occur are currently served with electric power, gas, telephone, refuse collection, and other minor utility services.

Realistic Development Capacity Calculation Accounting for Site Improvements and Land Use Controls

Realistic development capacity is broken down into three categories within Villa Park: developable vacant land; developable non-vacant land (land that is underutilized); and land suitable for secondary dwelling units. There is no developable vacant non-residentially zoned land that allows residential use or developable non-residentially zoned land that can be redeveloped, and/or rezoned, for residential use.

The methodology used to calculate the realistic development capacity included land use and zoning controls and site improvement requirements. All vacant and underutilized sites within the inventory were evaluated for compliance with land use density requirements, zoning development standards which include lot coverage ratio, floor area ratio, and access requirements, and site improvements such as streets and curb and gutter. Secondary dwelling unit development is an accessory use to the primary structure and therefore by default meets all land use and site improvement standards. Zoning requirements will dictate the maximum allowable size of the unit.

Within the City there are 5 developable vacant parcels. Of these 5 developable vacant parcels 1 is capable of being sub-divided into more than 4 lots, 1 has the potential to be sub-divided into 2 lots, and the remaining are single lot developments. It is estimated that approximately 11 new lots can be developed from those vacant lots.

Non-vacant underutilized properties are those which have an existing single-family residence on the property, but the property is large enough to be sub-divided into multiple properties. Approximately 12 non-vacant underutilized properties are capable of developing further, and of those, 1 can be subdivided into more than 4 lots. All of the properties lie within the SFR 1.75 du/ac land use designation. It is estimated that approximately 21 new lots can be developed from those non-vacant underutilized properties

All properties within the City have the potential for the development of 1 secondary dwelling unit per parcel, respective of the parcel's square footage. The City has only tracked secondary dwelling unit construction since approximately 1997. There is no definitive way to identify exactly how many of the City's 2,021 properties have existing secondary dwelling units and how many have potential for future secondary dwelling unit development. Since 1997, 29 secondary dwelling units have been constructed.

Analysis of Non-Vacant and Underutilized Land

Due to the fact that there is little developable vacant land within the City, future growth will rely heavily on infill development. Approximately 12 non-vacant underutilized properties are capable of developing further and of those, 1 can be subdivided into more than 4 lots. All properties within the City have the potential for the development of 1 secondary dwelling unit per parcel, respective of the parcel's square footage.

Identification of Zoning Appropriate for Housing for Lower Income Households

The City of Villa Park satisfies its low income housing requirements through the development of secondary dwelling units. All residentially zoned land within the City can be developed with either an attached or detached secondary dwelling unit ranging in size from 640-1200 square feet; the ultimate square footage allowed is based on the overall lot size.

By allowing for such use in the E-4 and R-1 zones, which includes more than 2,000 residential properties, and considering analysis of secondary unit development consistency throughout past Housing Element cycles, adequate capacity to meet Villa Park's very-low and low income needs have been and will continue to be satisfied.

As was noted in the Elements effectiveness analysis 13 second units were developed during the prior housing elements planning period, all of which were permitted by-right.

Second units have proven to be a very valuable housing resource for the City. With 30% of the population exceeding 55 years of age, but maintaining a desire to remain in Villa Park, it has been very common within the City for homeowners to construct second units to live in and allow their children to take over the primary residence. It is also very common for residents to construct second units as a housing alternative for elderly or student family members or for live-in-care providers.

With regard to an incentive program, the City of Villa Park is considered built-out and with its budget and size does not have an Economic Development or Housing Department, nor is there an opportunity for either in the foreseeable future.

The City would like to stress that it feels that there is no shortfall of adequate sites to meet the needs of lower and moderate income housing units.

Zoning for a Variety of Housing Types

Multi-family Rental Housing

Multi-family is a classification of housing where multiple separate housing units are contained within one building. The most common multi-family housing is apartment buildings. Prior to and since the City's incorporation in 1962 there is no zoning that permits the establishment of multi-family housing. Multi-family zoning as a stand alone zoning district and in conjunction with current commercial zoning was considered during this housing element planning process. With extensive discussion and analysis it was determined by City staff, with public participation through the Citizens Advisory Committee, that current housing policies and zoning that do not provide for multi-family development have and will continue to provide ample low-income housing opportunities and that there is no need for further consideration during this housing element planning period.

Housing for Agricultural Employees (Permanent and Seasonal)

Housing for agricultural employees is low-income housing available without requiring any special requirements. With no agricultural land within the City of Villa Park and little in the surrounding area there is no identifiable need for Villa Park to provide housing specific to agricultural employees.

Emergency Shelters

An emergency shelter is housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. In compliance with recently adopted Senate Bill 2, emergency shelters will be permitted within the E-4 zoning district and will be subject to those restrictions that apply to other residential uses of the same type in the same zone, and will be permitted within the R-1 zoning district by obtaining a Conditional Use Permit. By allowing for such use in the E-4 and R-1 zones, capacity to meet Villa Park's need for at least one year-round emergency shelter is satisfied.

Transitional Housing

Transitional housing is buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six months. In compliance with recently adopted Senate Bill 2, transitional housing will be permitted within the E-4 zoning district and will be subject to those restrictions that apply to other residential uses of the same type in the same zone, and will be permitted within the R-1 zoning district by obtaining a Conditional Use Permit. By allowing for such use in the E-4 and R-1 zones, adequate capacity to meet Villa Park's need for transitional housing is satisfied.

Supportive Housing

Supportive housing is permitted in the E-4 and all R-1 residential zones. Supportive housing is housing with no limit on length of stay, that is occupied by the target population, and that is linked to on-site or off-site services that assist the supportive housing resident in retaining the housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community. By allowing for such use in the E-4 and R-1 zones, adequate capacity to meet Villa Park's need has been satisfied.

The City will comply with all State Law requirements with regard to residential care facilities intended to house seven or more persons.

Single-room Occupancy

The City of Villa Park currently has no multi-family land use or zoning classifications and the zoning ordinance has no provisions with which single-room occupancy can operate. As a City that is considered built-out, has no opportunity to annex, and having a relatively small

potential for redevelopment, single-room occupancies are not a viable affordable housing unit type; therefore, no programs are planned for the current housing cycle.

Factory-built/Manufactured Housing

Factory built/Manufactured housing is a type of housing unit that is largely constructed and assembled in a factory and then transported to sites of use. Factory built/Manufactured housing, as permitted by State law, is allowed in the E-4 and all R-1 residential zones and must follow the City's Site Plan Review process. By allowing for such use in the E-4 and R-1 zones, adequate capacity to meet Villa Park's need has been satisfied.

Mobile Homes

Mobile homes are large trailers, fitted with parts for connection to utilities, that can be installed on a relatively permanent site and that is used as a residence. No property with the City is zoned to permit the permanent establishment of a mobile home(s) for residency. Mobile homes are permitted as a residence during construction of a fixed single-family dwelling.

Second Units

A secondary unit is considered "secondary" or "accessory" to the primary residence on the parcel. It normally has its own entrance, kitchen, bathroom and living area. All E-4 and R-1 zoned land within the City, which equates to more than 2,000 parcels, can be developed with either an attached or detached secondary dwelling unit. Secondary dwelling unit sizes range from 640-1200 square feet, depending on the properties gross lot size, and must follow the City's Site Plan Review process.

According to State Government Code §65852.1, the City may issue a:

“...conditional use permit for a dwelling unit to be constructed, or which is attached to or detached from, a primary residence on a parcel zoned for a single-family residence, if the dwelling unit is intended for the sole occupancy of one adult or two adult persons who are 62 years of age or over, and the area of floor space of the attached dwelling unit does not exceed 30 percent of the existing living area or the area of the floor space of the detached dwelling unit does not exceed 1,200 square feet.”

According to State Government Code §65852.150:

“The Legislature finds and declares that second units are a valuable form of housing in California. Second units provide housing *for family members, students, the elderly, in-home health care providers, the disabled, and others, at below market prices* within existing neighborhoods. Homeowners who create second units may benefit from added income and an increased sense of security”.

Adequate Site Alternatives

By all estimates, the City of Villa Park will meet the quantified objectives for the number of housing units for each income level, as set by the Southern California Association of Governments (SCAG) final Regional Housing Need Assessment plan, therefore eliminating the need to include discussion of adequate site alternatives.

CONSTRAINTS ON HOUSING

State Government Code requirements for analysis of constraints on housing are described in Section 65583(a) (4) and (5).

Analysis of Governmental Constraints

Land Use Controls

Land use controls which establish the range and diversity of housing types maintained in Villa Park include the General Plan and Zoning Code. More specifically, the Land Use Element establishes the principal residential land use categories to be encouraged in the community. The Zoning Code, in turn, establishes regulations affecting the uses, density and size of housing permitted in different districts of the City.

Land Use Element: The residential land use categories include:

R-1	3.0 dwelling units per acre
R-1	2.5 dwelling units per acre
E-4	1.75 dwelling units per acre

Zoning Code: Nine zoning districts implement the residential land use categories:

R-1	13,500 square feet
R-1	12,000 square feet
R-1	10,000 square feet
R-1	9,500 square feet
R-1	8,500 square feet
R-1	8,400 square feet
R-1	8,000 square feet
E-4	20,000 square feet

Some of the lot sizes allowed by the City's residential zones are similar to those of other cities in Orange County. For instance, residential development is permitted on lots of 8,000 to 9,000 square feet. These lot sizes indicate that the Zoning Code does not impede the development of entry-level housing. Moreover, the City does not impose a minimum housing unit size in the R-1 and E-4 Zone Districts. The primary difference between the residential zones is the minimum lot size. In addition to lot size, the residential zones have the development standards described on the next page.

	All R-1 Zones	E-4 Zones
Minimum Lot Width	None	None
Front Yard Setbacks	20 ft.	30 ft.
Side Yard Setbacks	5 ft.	10-20 ft.
Rear Yard Setbacks	25 ft.	25 ft.
Building Heights	32 ft.	32 ft.
Parking	2 garage stalls	2 garage stalls

In 1962, at the time of incorporation, a single “100-E4-20,000 Small Estates” Zone was adopted for the entire City. In the ensuing years, it became evident that this singular zoning district was more detrimental than beneficial to the City. For this reason, a change in zoning was adopted in order to achieve a well balanced community and more effective land use transitions.

The zoning change created a transitional zone for the City with a small westerly section zoned for 8,000 square foot lots at a density of not more than three residences per acre adjacent to a 12,000 square foot zone with a density of 2.5 residences per acre. This action provided a gradual transition into the 20,000 square foot small estate zone with a density of 1.75 units per acre.

Along the westerly City border, there are approximately 78.82 acres zoned three dwelling units per acre. Adjacent to this section, on the easterly side of the zone, there are approximately 57.05 acres with a density of 2.5 dwelling units per acre. These two zones establish a gradual transition from the City of Orange into the 1.75 density small estate zone. The north and easterly portions of the City are entirely zoned for 20,000 square foot small estate lots.

In addition to the above, the City has a Planned Community Zone (PC), and although there are no existing parcels of property currently with the PC Zone designation, the zone does exist and provides for a diverse group of potential land uses, including single family residential developments, multiple housing developments, professional and administrative office areas, commercial centers, or any public or semi-public use or combination of uses through the adoption of a development plan and text.

The City also has a second dwelling unit ordinance that facilitates the development of housing at below market costs, meeting the needs of special populations and low-income persons. Second unit development standards include:

- Sleeping quarters and kitchen and bathroom facilities independent of the principal dwelling unit.
- Floor area shall not exceed 1,200 square feet (SF), if detached.
- Floor area shall not exceed 30% of the existing living area of the main structure if attached, but can be no larger than 1,200 SF.

The City adopted the current second unit ordinance to encourage low-income housing development. Since the 2001 Housing Element was adopted the City has processed requests for second units in a timely and efficient fashion. Second units follow the same process of planning, building, and engineering review as do all development projects. The City's small size prevents it from being able to offer assistance or incentives, but does allow development projects such as second units to process rapidly, in turn minimizing costs and creating an option for each residential parcel.

After adoption of the prior Housing Element, 11 second units were built and those units currently serve a variety of low-income housing needs. The City will continue to facilitate the development of second units on existing developed lots.

Building Codes and Their Enforcement

Villa Park has adopted the Uniform Building Code and other model codes such as electrical and plumbing. These are standardized codes adopted by most cities throughout the State of California. The City does not impose (on the basis of unique local conditions) requirements or standards more stringent than those incorporated in the code, with the exception of the fire code, as recommended by the Orange County Fire Authority. The following codes were adopted by the City Council:

- 2007 Edition of the California Building Code
- 1997 Edition of the Uniform Housing Code
- 2007 Edition of the California Mechanical Code
- 2006 Edition of the Uniform Solar Energy Code
- 2007 Edition of the California Plumbing Code
- 2007 Edition of the California Electrical Code
- 1997 Edition for the Abatement of Dangerous Buildings
- 2006 Edition of the Swimming Pool, Spa and Hot Tub Code
- 2007 Edition of the California Fire Code

Site Improvement Requirements

Most cities require site improvements as a part of the normal development process. As land is subdivided and built upon, the City requires streets, curbs and gutters, street trees, and other related improvements. In keeping with the rural character of the area, no street lights are required and sidewalks are avoided. The City of Villa Park does have a Master Plan of Recreational Trails and in cases where undeveloped segments of the trail front the property curb, gutter, fencing and other improvements are required. The improvements required by the City are permitted by State law and are not extraordinary. They are necessary for purposes of assuring public health and safety in residential communities.

Infrastructure Constraints

The availability of infrastructure is critical to affordability for development of new housing. The City has all infrastructure in place necessary to develop approved vacant and underutilized land. Because the City is largely built-out, most of infrastructure is sized to

accommodate existing uses. Expansion of residential inventory or density over that specified in the City General Plan would require major new infrastructure development and would increase development costs and reduce housing affordability.

Public Services and Facilities

Villa Park is served by the following public utilities:

Water:	Serrano Water District
Sewer	
Collection	City-owned system
Treatment	O.C. Sanitation District
Sewer Maintenance District #1	City System
Storm Drainage	City Maintained System
Refuse Collection and Disposal	Villa Park Disposal
Electric	Southern California Edison
Gas	The Southern California Gas Co.
Telephone	AT&T
Cable Television	Time Warner

The City of Villa Park provides sewer facilities and there is adequate capacity to handle future development. The Serrano Water District furnishes water facilities. According to District officials, there is an adequate water supply for current and projected domestic use and fire flows. The natural runoff from Irvine Lake is supplemented by local ground water. The storage capacity within the system is more than 600 million gallons.

2007 – 2008 FY Fees and Exactions Required of Developers

Fees and Exactions required of developers are used to support a variety of functions which include checking submitted plans, paying local facility management fees, special road assessments, and public service related fees for other agencies such as school districts and utility providers. Table 15 on page IV-31 shows permit issuance fees for a prototype home in Villa Park. Permit fees are based on the construction of a new four bedroom, 3 bathrooms, 3,500 square foot two-story home, with an 800 square foot 3-car garage and a 400 square foot patio.

**Table IV -15
City of Villa Park
Permit Issuance Fees: Prototype Home**

Building Valuation Project Cost Breakdown			
	New Living Area	New Garage Area	New Porch/Patio Area
Square Footage:	3,500	800	400
Cost Per Sq. Ft.:	\$96	\$26	\$16
Sub- Total Valuation:	\$336,000	\$20,800	\$6,400
Miscellaneous Costs:	-	-	-
Total Project Valuation:	\$363,200		
Plan Check Fee:	\$1,930		
Permit Fee Breakdown			
Building Permit Fees	Assessed Per Project		\$2,950
NPDES Inspection Fee	\$100 Per Permit		\$500
Business License Fee	\$50 Per Contractor		\$50
Site Plan Review	\$150 Per Project		\$150
Orange Unified School District School Fee (New Sq. Ft. > 500)	\$2.63 Per Sq. Ft. of Living Area		\$9,205
Sewer Connection Fee	For 4 Bedrooms		\$5377
Street Bond (Any Const. > 300 Sq. Ft.)	\$575 (\$500 Refundable)		\$575
Villa Park License Tax (New Construction Only)	\$100 + \$10 Per Bedroom Over Two		\$120
Install a Parkway Tree (Any Const. > 300 Sq. Ft.)	Evaluated Per Project		
Plumbing, Mechanical, and Electrical			\$400 +/-
Total Permit Fees Due =	\$19,327 +/- (Includes School Fee and County Sewer Fee)		

Source: Table constructed by the City of Villa Park

Local Processing and Permit Procedures

Due to the fact that there is very little vacant land within Villa Park and the age of the majority of the existing housing stock is less than 40 years, development activity in the City is not extensive and limited primarily to remodeling of existing single-family dwellings, in-fill development, and construction of second units. All development applications, including second units, are ministerially reviewed by the City's Planning, Building, and Engineering Departments. Any exceedance of second unit development standards would require a Variance permit. All Secondary Dwelling Unit applications are also reviewed by the Community Development Committee within one-month after submittal to evaluate potential privacy issues for adjacent properties. In most cases landscape screening is required to minimize the height of a second unit, since they are permitted to reach 15'. Most development applications are processed completely within two months.

Housing for Persons with Disabilities

SB 520 Compliance

Pursuant to Senate Bill 520-Chesbro (SB520), this section analyzes potential and actual constraints upon the development, maintenance, and improvement of housing for persons with disabilities; discusses local efforts to remove governmental constraints that hinder the locality from meeting the need for housing of persons with disabilities; and identifies programs that remove constraints or provide reasonable accommodations for housing designed for persons with disabilities.

Villa Park endeavors to accommodate disabled access and to comply with SB520 requirement. The majority of Villa Park was developed without sidewalks, with the only sidewalks located on the larger public streets and near schools. Roads with sidewalks include portions of:

- Lincoln Street
- Santiago Boulevard
- Center Street
- Serrano and Taft Avenues
- Nichols, Wanda and Villa Park Roads.

The following are responses to questions of the “SB 520 Analysis Tool”, promulgated by HCD:

1. Does the locality have any processes for individuals with disabilities to make requests for reasonable accommodations with respect to zoning, permit processing, or building laws?

Response #1: The City Building Official strictly enforces Americans with Disabilities Act (ADA) requirements on new and rehabilitated developments. There are no anticipated zoning restrictions with respect to individuals with disabilities needing reasonable accommodations.

2. Describe the process for requesting a reasonable accommodation.

Response #2: The applicant is asked to submit the request to the City in writing. If the request is within the administrative limits of the official, a written ruling will be issued. If it is beyond the administrative limits, a variance could be applied for and processed.

3. Has the locality made efforts to remove constraints on housing for persons with disabilities, such as accommodating procedures for the approval of group homes, ADA retrofit efforts, an evaluation of the zoning code for ADA compliance or other measures that provide flexibility?

Response #3: Villa Park's procedures for approval of group homes are consistent with State requirements. Other issues arise so rarely in Villa Park, if at all; they would be handled on a case-by-case basis, within applicable State and Federal law.

4. Does the locality make information available about requesting a reasonable accommodation with respect to zoning, permit processing, or building laws?

Response #4: Villa Park provides information as requested, and posts the information at its public planning and building counter, as well as on its website at www.villapark.org.

5. Has the locality reviewed all of its zoning laws, policies and practices for compliance with fair housing law?

Response #5: The City's codes are compliant with applicable State and Federal law. If issues arise and are brought to the City's attention, then those issues would be resolved on a case-by-case basis.

6. Do parking standards and requirements address disabled access?

Response #6: The City's codes are compliant with all applicable State and Federal laws regarding ADA parking requirements.

7. Does the locality restrict the sitting or separation of group homes? How does this effect the development and cost of housing?

Response #7: As indicated under response #3, above, Villa Park's procedures for approval of group homes are consistent with State requirements. There is no indication there is any effect on the cost and development of housing in Villa Park. There are few group homes in Villa Park, albeit the City may not be aware of all group homes within the City.

8. What zones allow group homes other than those covered by state law? Are group homes over six persons also allowed?

Response #8: All residential zones within Villa Park allow group homes not covered by State law with a Conditional Use Permit. Those covered by state law, including permitting, are not handled by Villa Park.

9. Does the locality have occupancy standards in the zoning code that apply specifically to unrelated adults and not to families? Do the occupancy standards comply with Fair Housing Laws?

Response #9: The definition of "Family" enforced in Villa Park is that found in the Uniform Building Code (UBC) pertaining to number of persons based on square footage of the structure: "*Family*" shall mean an individual or two (2) or more persons

living together as a single housekeeping unit in a single dwelling unit.

10. Does the land-use element regulate the siting of special needs housing in relationship to one another? Specifically, is there a minimum distance required between two (or more) special needs housing?

Response #10: No.

11. Does the locality allow group homes with fewer than six persons by right in single-family zones? What permits, if any, are required?

Response #11: Yes. None.

12. How does the locality process a request to retrofit homes for accessibility (i.e., ramp request)?

Response #12: A standard building permit request is followed.

13. Does the locality have a set of particular conditions or use restrictions for group homes with greater than 6 persons? How do they affect the development of housing for persons with disabilities?

Response #13: Refer to responses #3 and #8 above

14. What kind of community input does the locality allow for the approval of group homes? Is it different than from other types of residential development?

Response #14: Small-family group homes (those ≤ 6) are permitted by right and do not require local approval. Large family group homes, although not permitted by City Code, are not expressively prohibited either, and are handled through the conditional use permitted process.

15. Does the locality have particular conditions for group homes that will be providing services on-site? How may these conditions affect the development or conversion of residences to meet the needs of persons with disabilities?

Response #15: Villa Park does not have particular conditions for group homes that will be providing services on-site as long as they have less than six occupants. For those homes with more than six occupants conditions would be applied during the Conditional Use Permit approval process.

16. Has the locality adopted the Uniform Building Code? What year? Has the locality made amendments that might diminish the ability to accommodate persons with disabilities?

Response #16: No, beginning in 2008 the City of Villa Park adopted the 2007 California Building Code. No.

17. Has the locality adopted any universal design elements in the building code?

Response #17: No.

18. Does the locality provide reasonable accommodation for persons with disabilities in the enforcement of building codes and the issuance of building permits?

Response #18: Yes, see above.

Analysis of Non-Governmental Factors

The City of Villa Park recognizes that adequate and affordable housing for all income groups strengthens the community. Many factors can work to encourage or constrain the development, maintenance, and improvement of the City's housing stock. These include market mechanisms, government codes, and physical and environmental constraints. These factors include the potential market constraints posed by the availability of financing, price of land, and construction costs. The analysis of these factors is presented below and in the next few pages.

Availability of Financing

Interest rates affect homeownership opportunities in Villa Park and Orange County. As a snapshot of the current market, in April 2008, the average jumbo interest rate on resale single-family homes was 7% on a 30-year fixed rate loan with a 20% down payment. On the median home in Villa Park costing approximately \$1,194,000, the monthly interest and principal payment would be \$6,350. Any reduction in the cost and interest rate to finance a home will help fuel both first time home buying as well as households that want to trade up based on a substantial increase in the equity of their home. Anytime we experience an increase in demand, coupled with a constrained supply, most likely a rapid escalation of housing costs will result, especially in Orange County.

Table IV-16 uses Home Mortgage Disclosure Act (HMDA) data to summarize 3 levels of loan activity: conventional loans as people purchased existing homes located in the 2 primary Villa Park census tracts; refinancing by existing homeowners; and applications for home improvement loans. Given that the majority of housing prices in Villa Park in 2006 exceeded FHA loan limits, there was no FHA loan activity. The denial rates are slightly higher for conventional home purchases, slightly lower for refinancing loans, and relatively the same for home improvement loans when compared to aggregate Metropolitan Statistical Area (MSA) percentages.

**Table IV – 16
City of Villa Park
Home Loan Denials – 2006**

<i>Census Tract</i>	<i>Conventional</i>	<i>Refinance</i>	<i>Home Improvements</i>
758.09	23% of 52 loans	19% of 139 loans	25% of 20 loans
758.10	31% of 81 loans	13% of 165 loans	27% of 22 loans
Total	28% of 133 loans	16% of 304 loans	26% of 42 loans
MSA Percentages	21% of 89,221	21% of 150,265	25% of 20,907

Source: Home Mortgage Disclosure Act Aggregate Reports by Census Tracts, 2006; Table 1
Table constructed by the City of Villa Park

Table IV-17 uses Home Mortgage Disclosure Act (HMDA) data to summarize loan denials per income group for MSA/MD: 42044. What this table best illustrates is that a higher percentage of applications from lower income groups were denied than from higher income groups. The median income as a percentage of the MSA/MD (Metropolitan District) median for tracts 758.09 and 758.10 were 185% and 186% respectively, as reported by the 2006 HMDA aggregate report.

**Table IV – 17
City of Villa Park
MSA/MD: 42044
Mortgage Lending Rates – 2006**

<i>Applicant Income Group*</i>	<i>Total Applications**</i>	<i>Loans Originated</i>	<i>Applications Denied</i>	<i>% Denied</i>
≤ 50%	14,879	4,842	5,298	36%
>50% - 80%	44,808	19,936	11,563	26%
>80% - 100%	48,742	25,150	10,387	21%
100% - 120%	57,146	30,658	11,594	20%
>120%	518,725	279,612	107,136	21%
Total	684,300	360,198	145,978	21%

* Percent of Area Median Income (AMI)

** Total Applications for Convention Home-Purchase, Refinance, and Home Improvement Loans in MSA/MD: 42044 (Santa Ana-Anaheim-Irvine, CA)

Source: Home Mortgage Disclosure Act Aggregate Reports by Income, 2006; Tables 5-2, 5-3, and 5-4
Table constructed by the City of Villa Park

Land Costs

Another key component in the cost of development is the price of raw land and any necessary improvements. In Villa Park, the virtual non-existence of vacant sub-dividable residential land combined with a high demand for such development keeps land costs high. Based on the most recent sales, none of which include vacant lots, the per lot land cost

within the E-4 zone average in April 2008 was estimated to be \$1.1 million. Land costs of this magnitude make the development of affordable housing in the remaining vacant lots highly unlikely.

Construction Costs

Generally construction costs vary widely according to the type of development, with multi-family housing generally being less expensive to construct than single-family homes. However, there is wide variation within each construction type, depending on the size of the unit and the number and quality of amenities provided. The International Conference of Building Officials in 2005/2006 established that the average cost of good quality construction is \$96 per square foot for single-family homes. These costs are exclusive of the costs of land and soft costs, such as entitlements, financing, etc. A reduction in amenities or the quality of building materials (above the minimum acceptable for health, safety, and adequate performance) could result in lower sales prices. Another factor affecting construction costs is the number of units built at one time. As the number increases, overall costs generally decrease as builders can benefit from the economies of scale.

QUANTIFIED OBJECTIVES BY INCOME GROUP

State law requires that the Housing Element state quantified objectives, by income group, for the construction, rehabilitation, and conservation/preservation of housing.

	<i>Extremely Low</i>	<i>Very Low</i>	<i>Low</i>	<i>Moderate</i>	<i>Above Moderate</i>
Construction	2	3	2	2	4
Rehabilitation	0	0	0	0	20
Conservation/Preservation	0	0	0	0	0
TOTAL	2	3	2	2	24

With regard to new construction, the City already has met the 4-unit need for the above moderate-income group. In addition, second dwelling units have met the need for the 2 moderate, 2 low-income housing units and the 3 very low-income housing units (a description of how each unit's income level was assigned can be found on Page 20).

It is estimated that approximately 1% of the City's housing stock have some level of deterioration which requires rehabilitation. These approximately 20 homes still provide safe and adequate shelter and are valuable to the City's above moderate income level.

The Conservation objective refers to maintaining existing affordable housing through measures such as providing or continuing rent subsidies (e.g., Section 8 certificates/vouchers) and implementing land use controls during the program period. There are no Section 8 assisted households in the City.

The City will promote the continued maintenance and use of the 8 second units that were developed during the time period of the prior Housing Element period. In this context, the

City will enforce the Zoning Code provisions that prohibit the change in use or demolition without the required permits.

Therefore, the remaining quantified objectives for the 2006-2014 RHNA program period are:

- 0 units for above moderate income households
- 0 second units for moderate-income households
- 0 second unit for a low-income household
- 0 second units for very low-income households

In addition, the City will process development applications on remaining developable vacant lots and those that are sub-dividable.

OTHER TOPICS

Relationship to Other Elements

The City's General Plan is comprised of 7 State mandated elements (open space and conservation have been combined) and one optional element. The mandated elements include: Land Use, Circulation, Housing, Open Space/Conservation, Noise, and Seismic/Safety. The General Plan also includes an optional Growth Management Element. The Housing Element is most closely correlated to the Land Use Element.

Coastal Zone

Construction, demolition and conversion of housing for lower and moderate income households in the coastal zone does not apply to the City of Villa Park as it does not lie within a coastal zone.

Priority Water and Sewer Service

As described in the sites inventory analysis of suitability and availability, development in Villa Park is limited to infill development and all portions of the City are adequately served with sewer and water service.

GOALS AND POLICIES

This portion of the Villa Park Housing Element describes the housing strategy to be implemented by the City during the 2006-2014 program period. The housing strategy consolidates the State housing law requirements pertaining to goals, policies, objectives, and programs described in Section 65583 (b) of the Government Code.

Housing Element Goal: The City's principal goal is to contribute to meeting the statewide goal of a decent home and suitable living environment for all people.

Housing Policies:

- H #1: To maintain a housing stock free of substandard conditions.
- H #2: To accommodate the special housing needs of the elderly, frail elderly and handicapped populations through the development of new second dwelling units.
- H #3: To meet the needs of low-income persons through the development of new second dwelling units.
- H #4: To continue to comply with State and Federal housing laws and regulations.
- H #5: To promote open and free choice of housing for all.
- H #6: To promote equal opportunity of choice throughout the housing market area for all residents regardless of race, creed, national origin or ethnicity.

2006-2014 HOUSING PROGRAMS

The programs contained in this section of the Housing Element describe specific actions the City of Villa Park will carry out over the eight-year Housing Element cycle to satisfy the community's housing needs and meet the requirements of State law.

Adequate Sites

Program: Provide adequate sites to meet State requirements and the Regional Housing Need assessment

1. The City of Villa Park anticipates substantially maintaining its present land use designations, but will review and make appropriate changes, if any, to its land use designations, if determined necessary by the City Council to ensure that the City retains its ability to provide sufficient capacity to meet its regional need and also provide sites to accommodate all income levels. Existing land use and zoning has and is expected to provide sufficient capacity and sites to meet its regional need and the needs of all income levels.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

Efforts are ongoing.

2. The City will implement programs to address the following housing types:
 - a. Emergency Shelters - Currently, Villa Park's Zoning Ordinance does not specify zones where emergency shelters are allowed. This program commits the City to designating the E-4 Zone as a zone where emergency shelters will be permitted by right under standardized and objective procedures that are no more restrictive than those for similar residential uses. This program also commits the City to permitting emergency shelters in all R-1 districts with Conditional Use Permit Approval. Conditions for the use permit will be standardized and objective and will not impede the development of a homeless shelter. In addition, the City will consider participation in any regional effort to provide these facilities. This is in compliance with Senate Bill 2.
 - b. Transitional Housing - Currently, Villa Park's Zoning Ordinance does not specify zones where transitional housing is allowed. This program commits the City to designating the E-4 Zone as a zone where transitional housing will be permitted by right under standardized and objective procedures that are no more restrictive than those for similar residential uses. This program also commits the City to permitting Transitional housing in all R-1 districts with Conditional Use Permit Approval. Conditions for the use permit will be standardized and objective and will not impede the development of transitional housing.
 - c. Housing for Farm Workers - The City recognizes that State law prohibits cities from imposing conditional use permit requirements on housing for six or fewer employees if family housing of the same type in the same zone does not require a use permit. Current zoning permits housing of this type without a special use permit; however, due in large part to high land prices within Villa Park and a lack of a significant local agricultural industry no specific farm worker housing programs are planned for the current housing cycle.
 - d. Single-Room Occupancy - The City of Villa Park currently has no multi-family land use or zoning classifications with which single-room occupancy can operate. As a City that is considered built-out, Villa Park has no opportunity to annex, and having relatively no potential for redevelopment, single-room occupancies are not a viable affordable housing unit type; therefore, no programs are planned for the current housing cycle.

- e. Second Units - The City included requirements for second dwelling units within the Zoning Code. Per the Zoning Code, a second unit is an attached or detached residential unit on the same parcel or parcels as the primary unit, which provides complete, independent living facilities for one or more persons. The unit includes permanent provisions for living, sleeping, eating, cooking, and sanitation.

Responsible Agencies and Officials: The City Manager's Office and Planning Department.

Time Frame: The City will implement programs a. and b. by December 2010. All others have already been implemented.

Housing for Various Income Levels

Program: Assist in the development of adequate housing to meet the needs of extremely-low, very-low, low, and moderate-income households.

Program Actions:

3. The City of Villa Park will implement a Density Bonus Ordinance pursuant to Government Code Section 65915.

Responsible Agencies and Officials:
Villa Park's City Manager's Office and Planning Department

Time Frame:
The City will implement a Density Bonus Ordinance by December 2010.

4. The City of Villa Park will publish information on its web-site and distribute information to homeowner associations, to the local public library, and to senior centers located near the City regarding all available Federal, State and Local programs which offer assistance in the development of housing for extremely-low, very-low, low, and moderate-income households.

Responsible Agencies and Officials:
Villa Park's City Manager's Office and Planning Department

Time Frame:
Affordable housing assistance information is currently available by accessing the City's housing program through a link on the web-site and will be distributed annually to homeowner associations, to the local public library, and to senior centers located near the City beginning in June of 2011.

5. Regulatory concessions in the form of expedited processing are available to affordable housing proponents.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

The City will continue its current efforts working with project proponents to expedite the processing of affordable housing projects.

6. The City of Villa Park does not have a Redevelopment Agency and therefore has no low and moderate (L&M) income housing Fund.

Governmental Constraints

Program: Minimize governmental constraints to the development, improvement, and maintenance of housing, particularly affordable housing or housing accessible to persons with disabilities.

Program Actions:

7. With respect to land use controls, building codes and required site improvements there are currently no significant governmental constraints to the development or maintenance of housing in the City. The City of Villa Park will continue to monitor its land use controls, Building Codes and required site improvements to identify and remove constraints to the development or maintenance of housing, particularly affordable housing or housing accessible to persons with disabilities.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

The City will continue its current efforts to work with project proponents to identify and eliminate governmental constraints.

8. With respect to fees and exactions, there are currently no significant governmental constraints to the development and maintenance of housing in the City. The City of Villa Park annually reviews its fee schedule to ensure that its fees and exactions promote the development and maintenance of housing, particularly affordable housing or housing accessible to persons with disabilities.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

The City will continue to review its fee schedule annually to identify and eliminate governmental constraints related to fees and exactions.

9. The City of Villa Park will continue to educate the public on how to complete the development approval process and otherwise facilitate building permit and development plan processing for residential construction, particularly affordable housing or housing accessible to persons with disabilities.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

The City will continue its current efforts to provide material at the City Hall counter and on the web-site and work with project proponents on an ongoing basis.

10. The City of Villa Park will expedite project review of residential developments with a handicapped-accessible or elderly component.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

The City will continue its current efforts to provide material at the City Hall counter and on the web-site and work with project proponents on an ongoing basis.

Existing Affordable Housing Stock

Program: Encourage the conservation and maintenance of the City's existing affordable housing stock.

Program Actions:

11. The City of Villa Park will commit to educating the public regarding the need for property maintenance and rehabilitation, code enforcement, crime watch, neighborhood conservation and beautification, and other related issues. The City will educate the public by including a link on its web site and providing handouts indicating resources and programs available to encourage housing stock maintenance and rehabilitation.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

A web site link and handouts will be made available by June of 2011.

12. The City of Villa Park will advocate and facilitate the rehabilitation of substandard residential properties by homeowners and landlords, utilizing a

City code compliance program, when necessary, to improve overall housing quality and conditions.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

Activities are ongoing.

Equal Housing Opportunities

Program: The City of Villa Park will advocate against discrimination in the sale, rental, or financing of housing based on race, religion, sex, marital status, ancestry, national origin, color, familial status, or disability.

Program Actions:

13. The City will make available information on fair housing laws and rights on the City's web-site. The City staff will have information on agencies that provide fair housing services in Orange County.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

Handouts will be made available beginning June of 2011.

Units At-Risk

All housing in Villa Park is detached single-family units which has been privately built and financed. Villa Park relies on secondary dwelling units to provide affordable housing. No government or non-governmental organization assisted housing is located within the City. Thus, there are no affordable multi-family rental housing units that receive governmental assistance that are at risk of conversion to market rate housing.

Energy Efficiency

Program: The City of Villa Park will encourage the utilization of green building techniques and promote energy audits and participation in utility programs.

Program Actions:

14. The City will make available information on green building techniques, energy audits, and utility programs on the City's web-site.

Responsible Agencies and Officials:

Villa Park's City Manager's Office and Planning Department

Time Frame:

Activities are ongoing.

Sources of Information

A number of data sources were utilized to create the Villa Park Housing Element. These resources include:

- City of Villa Park General Plan; April 1991
- City of Villa Park General Plan Housing Element June 2001
- City of Villa Park Municipal Code
- City of Villa Park building permit records
- City of Villa Park Global Information System (GIS) Database
- Southern California Association of Governments (SCAG) Regional Housing Needs Assessment (RHNA)
- 2007 California Department of Finance Population and Housing data
- 2000 and 1990 U.S. Census Reports
- Federal Financial Institutions Examination Council (FFIEC) - Home Mortgage Disclosure Act – 2006 MSA/MD Aggregate Reports
- Southern California Multiple Listing Service (MLS)

Various other informational sources were referenced where appropriate. These informational sources are cited where they appear within the text.

Exhibits

Exhibit IV-1: Second Unit Letter

Exhibit IV-2: Sites Inventory

Exhibit IV-3: Developable Vacant Parcels and those capable of being subdivided into four or more



City of Villa Park

Exhibit IV-1

17855 Santiago Boulevard, Villa Park, California 92861-4187
(714) 998-1500 • Fax: (714) 998-1508

www.villapark.org

November 26, 2008

Name
Street
Villa Park, California 92861

REGARDING: SECONDARY UNIT AT

Dear Mr. & Mrs. Name:

The City of Villa Park is currently undertaking the task of updating its General Plan. An integral part of that process is the update of the City's Housing Element. In short, the State of California and the Southern California Association of Governments assesses the need for low-income housing every five years and, in turn, produces a Regional Housing Needs Assessment for each City.

I know that at this time you are probably wondering how this affects you. Villa Park does not have a large demand for affordable housing. State law however permits agencies, like Villa Park, to count secondary units as low-income housing opportunities. Many of these secondary units are not just used for friends or family in town on vacation or in-law quarters. This option has allowed the City to achieve Housing Element certification by the State for at least the last ten years.

New to this Housing Element is a requirement to provide a methodology as to how units are attributed to a specific income category (i.e. extremely-low, very-low, or low income); this is where you as an owner of a secondary unit come into play. The City is asking that the attached form be completed and returned. I would like to stress that this information will remain confidential and no personal information will be included in the Housing Element. In no way is providing this information required, but as I mentioned, certifying this document is a prominent achievement and possible with your help. Additionally, this information will assist Villa Park maintain our current residential zoning without further interference from the State.

Should you have any questions regarding this letter please contact me at (714) 998-1500.

Sincerely,

CITY OF VILLA PARK

Jason Carson
Associate Planner

Attachment: Second Unit Information Form

**Sites Inventory
2006-2014 Housing Element**

General Plan Land Use Code: SFR - 1.75 DU/AC

APN	PARCEL SIZE	LAND USE	ZONING	EXISTING USE
372-351-22	20055.6039096000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-15	21206.1313074000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-28	21062.1525494000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-08	20705.3218952000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-17	20053.6540260000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-03	20099.6016764000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-04	20779.5857814000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-411-08	38238.0811090000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-19	32707.6020674000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-20	48184.4052128000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-423-01	22044.7213283000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-14	19879.3445953000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-553-01	47136.9903494000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-411-07	25866.0047294000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-423-02	21631.7383768000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-411-05	21124.7715820000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-06	20080.4255925000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
363-584-02	20041.3364487000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-441-07	20697.1423994000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-441-06	23268.5073115000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-13	20847.4205748000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-441-05	21806.7927803000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-17	22597.5489333000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-14	12888.1602963000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-02	20954.4381266000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-02	24486.2938354000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-03	19627.8353201000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-02	20386.6880725000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-01	19814.0393618000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-03	22089.5936872000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-08	55263.7660768000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-12	20521.4384161000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-03	20067.7581862000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-11	22276.2238448000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-16	24708.1036046000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-14	19328.3137053000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-04	28637.7097909000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-07	20107.9990602000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-02	21328.7078045000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-17	20066.6500318000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-15	20544.4877089000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-11	21569.3761948000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-10	20141.8255124000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-04	20314.8604423000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-10	22852.7102247000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-09	24489.7734163000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

372-401-20	28385.2202978000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-12	22454.5761971000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-05	50372.3932049000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-08	54079.5549762000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-10	29897.7701959000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-13	23546.4741245000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-08	20209.2464245000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-09	19799.0228341000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-09	22392.8110262000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-10	20421.4508855000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-03	21009.3010247000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-11	20254.1246538000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-06	19981.5631776000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-07	23610.5183122000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-05	20120.9706815000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-06	21474.7791702000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-09	20442.4251254000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-18	20050.8149079000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-41	34723.6097941000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-19	19970.4200747000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
363-581-12	21361.0528312000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-18	19566.8586829000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-12	20030.1007432000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-19	20610.0114025000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-04	20988.7210786000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-362-01	23059.0140248000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-09	26098.6460752000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-01	20320.1939778000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-07	25616.5264911000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-02	28546.9830219000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-01	29953.6585644000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-14	22429.9777818000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-13	20320.4851920000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-07	21156.9446203000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-12	20295.3820981000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-06	21249.9653630000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-731-08	21073.0685269000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-09	18947.5554008000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-362-04	19620.8073294000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-03	26879.0231263000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-05	26061.0870999000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-15	20210.6376872000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-08	26099.4009232000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
363-584-03	19725.2543687000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
363-584-04	19998.3487536000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-06	24238.0026698000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-11	20547.3474873000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-02	20072.9771496000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-401-04	24436.9341567000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-01	28208.0891784999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-16	20602.3121557000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-362-02	21688.4033104000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

372-732-05	23316.3331314000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-05	20514.5777833000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-15	20748.1640822000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-16	20887.8206060000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-07	25846.9487009000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-362-03	19980.8120874000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-10	21040.7038491000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-02	23781.0020224000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-17	24322.2681277000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-06	24569.9779565000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-07	20777.8052887000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-12	25612.5294249000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-04	19767.5140666000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-27	21645.6436212000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-03	20202.7347677000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-11	28482.2566103000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-14	25063.4051487000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-03	21204.2108089000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-28	22303.3683976000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-11	28390.0212832000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-14	35509.6143115000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-07	20175.2524984000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-01	20826.4251198000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-14	41094.2106527000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-03	20035.4486447000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-01	20119.8233006000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-15	41279.4234988000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-08	20658.9071846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-02	20514.4255391000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-16	39064.2265967000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-17	39070.1547940000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-09	20788.1045752000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-20	23523.8266122000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-18	23370.6821258000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-27	26134.0012101000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-03	19922.4594094000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-18	20199.9213810000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-13	19798.0402265000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-04	19652.4771540000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-732-12	47499.5563817000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-16	20097.4894585000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-363-10	28239.0590643000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-02	36375.3377214000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-04	20505.4962242000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-15	20555.5647895000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-06	18452.0372720000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-05	20360.3602033000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-13	27246.1680131000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-11	22256.8800708000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-05	21915.0095168000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-02	21421.8209102000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-05	19558.5300770000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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**Exhibit IV-2
Housing Element**

372-432-06	22465.3784398999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-10	20111.1882155000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-19	21417.3108351000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-02	20377.1125967000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-32	27112.0084118000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-15	20702.1771337000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-06	20637.8118970000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-34	26751.2389048000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-35	18924.9879357000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-17	19721.5123258000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-14	19765.0432035000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-12	21114.9362197000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-12	20517.4873612000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-06	22810.7459366000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-12	20020.8077494000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-03	23745.9875471000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-03	20582.7143674000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-431-01	22063.0333894000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-20	19725.0707200000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-04	20277.3502680000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-10	19504.2857942000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-14	19928.0735876000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-05	20437.8527995000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-16	19929.0663394000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-08	20509.0409338000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-09	20176.1778040000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-432-07	18959.2144256000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-11	20385.2647008000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-31	20630.4545845000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-33	19594.7863414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-03	19013.9215344000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-01	23651.7470364000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-07	31466.4365683000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-13	20075.2849835000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-11	20376.2568832000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-09	20733.6677725000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-26	19354.3699114000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-07	21854.8346168000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-29	20673.9644165000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-25	21152.3829782000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-11	19993.9580922000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-21	20332.8055745000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-17	21210.3926192000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-15	22874.8521301000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-19	19839.6688883000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-19	23136.7773235000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-30	20286.6027082000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-02	29768.5924134000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-08	27547.8183068000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-09	19636.0748262000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-02	56351.7254550000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-17	34384.5224233000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-681-09	20133.0339741000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-31	19013.0297661000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-49	27423.4879295000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-28	54930.6330478000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-08	20171.3735244000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-10	21757.1085535000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-01	19995.0651808000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-08	27533.6763428000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-18	20060.4633240000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-06	43606.1026033000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-10	20578.0599493000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-14	20743.9620258000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-27	24105.5910098000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-13	23726.3614550000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-07	20329.3590499000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-29	19876.7882670000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-47	19535.3403735000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-29	34517.5029394000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-10	19928.6214935000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-18	19998.9432003000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-14	22218.8106454000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-03	44620.9244551000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-02	19990.2720794000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-09	21897.9609667000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-05	20431.4016541000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-09	20015.3250858000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-23	20050.9569293000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-04	53185.8837829000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-08	20257.8993097000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-422-04	25030.5191840000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-422-03	28614.9214530000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-20	21308.2171683000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-06	20083.5649537000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-21	27175.4699184000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-09	20670.0940901000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-23	28888.2375574000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-48	20758.6901030000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-531-07	22551.3540288000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-28	20229.2220078000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-21	19973.9833008000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-24	20251.6496970000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-04	35507.3591011000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-11	19750.8927529000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-08	19595.0023158000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-02	19642.3990436000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-16	20000.2094367000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-29	36164.6779375000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-45	53609.2007163000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-14	45283.1905889000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-351-24	23322.0444549000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-05	47191.5610103000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-35	34081.6848845000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-392-05	20309.6410334000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-23	20244.3789595000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-22	21567.6010300000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-17	28924.3009315000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-27	20202.8159784000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-10	19840.2887611000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-03	20252.6172280000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-36	30015.6200043000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-03	19728.7432440000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-12	20114.5736716000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-04	19950.5267575000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-07	20179.9477986000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-15	21683.3164955000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-422-08	39742.8878221000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-22	23080.3723454000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-06	81067.8947160000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-422-07	36746.3179759000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-30	31088.7385639999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-10	29389.4710191000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-16	19983.5421853000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-01	31729.7123846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-22	62863.5424029000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-681-07	117222.3396300000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-42	26780.0162648000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-06	31656.6001753000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-24	19752.5663959000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-04	29656.9390351000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-11	19601.3125992000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-25	19872.5827319000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-17	54923.3912570000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-23	20367.0760275000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-43	23346.4813658000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-18	22735.3461118000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-50	39100.7676231000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-30	20625.5605701000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-26	20166.4398003000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-34	23054.6200698000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-02	20080.3742962000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-04	19598.6950094000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-05	20230.9348877000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-06	20856.7613382000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-16	21799.2470687000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-21	20510.2760375000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-15	19520.9671484000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-25	41310.8648338000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-391-06	20040.5010352000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-01	39190.1769544000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-19	20096.2068229000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-07	31220.8985286000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-20	25256.2617230000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-02	33879.3692732000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-12	21367.1917178000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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**Exhibit IV-2
Housing Element**

372-042-37	21747.6266175000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-361-24	20502.7678078000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-09	28114.4638799000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-25	28056.4650786000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-11	20767.1634810000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-15	20832.0571001000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-17	24556.8854227000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-283-01	22042.6942689000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-06	53831.7199901000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-16	22276.0020916000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-08	33628.3377643000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-33	23788.3741248000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-01	20116.5168107000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-18	20848.6634759000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-24	27023.8700477000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-23	23424.0604236000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-05	20377.2068574000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-14	19909.3588948000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-20	28919.3029986000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-08	40220.2063308000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-03	19094.4555941000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-283-02	23108.3539370000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-25	27071.1773713000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-07	39655.7077069000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-13	21036.3599386000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-24	12758.3567451000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-01	21545.1457023000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-05	39886.6654673000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-39	20171.1481634000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-10	40152.8405441000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-06	40110.1522161000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-34	20909.0965675000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-35	32359.3701711000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-28	21784.3841870000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-16	19803.1865543000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-17	20545.8542946000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-13	20253.1441327000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-09	20085.0151316000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-32	21501.2722263000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-29	19961.6323869000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-04	44476.5901541000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-02	20021.1321759000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-02	19779.1257356000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-16	23032.2648335000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-16	24220.4842831000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-11	24355.3765819000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-19	21046.2319176000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-22	19865.5365623000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-392-01	23248.8150399000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-06	20074.1406444000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-10	40225.2934997000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-14	19654.8104711000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

372-411-03	29277.0318588000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-05	21129.5238357000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-14	36812.4419516000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-412-15	20718.9032684999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-03	23270.1206903000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-36	21483.4804961000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-13	29990.4725065000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-06	20583.5899506000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-12	21330.2467452000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-02	58697.1471977000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-551-18	23692.8451398000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-31	21769.4204229000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-25	20690.0635942000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-40	20298.4180050000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-02	23289.9207290000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-411-04	23120.4391071000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-05	26993.9171505000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-15	19831.6859004000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-23	22295.0848636000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-37	20626.0600929000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-27	20596.8687643000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-30	20059.9697695000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-07	19867.5532628000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-682-01	27711.6966901000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-07	20457.7492980000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-03	44543.7990627000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-18	25911.7099967000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-27	20569.1123047000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-28	20271.2806287000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-19	22396.1186129000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-01	160817.7255090000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-20	21405.3291226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-15	21581.1333065000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-03	23923.4615414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-12	21548.7094583000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-04	24705.8619004000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-21	20026.4732023000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-20	20245.4137656000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-07	22709.4907443000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-30	21235.3600059000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-41	20415.8743657000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-04	22178.4578206000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-11	20277.2024174000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-26	19762.4672579000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-08	20256.9354232000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-17	32463.2134651000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-15	30355.3061576000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-21	30326.8125996000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-29	27328.1848524000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-13	21173.0538113000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-06	20331.1032218000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-17	20215.1540394000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

372-541-20	42043.8525989000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-11	22220.7777547000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-12	21793.1497880000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-14	21586.6806869000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-042-13	21715.2137953000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-14	24708.7602906000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-22	20626.4744020000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-16	20026.7541883000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-411-06	20934.8021304000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-602-11	473450.0211980000	School	E-4 Small Estate Residential	School
372-411-09	74129.6423945000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-08	37701.8153691000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-553-05	30813.3804475000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-13	20150.8897126000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-10	20405.5368086000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-05	20476.0689676000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-05	151668.2147250000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Vacant
372-042-09	20125.2645073000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-552-08	63548.5992759000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-562-08	20603.2065070000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-21	19964.1219327000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-01	21217.2383212000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-01	20144.9973501000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-02	19982.1806317000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-03	19949.7243451000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-05	19771.5742373000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-04	20110.3622738000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-06	20213.1092121000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-07	20160.1500795000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-08	20107.3552034000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-09	20241.2140454000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-10	20518.3770724000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-11	20419.9782955000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-30	27029.8567747000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-23	21848.8151694000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-15	20709.9716185000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-15	20884.0871898000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-553-07	30715.7374387000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-01	21523.9039849000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-15	21334.3726821000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-511-12	21390.1571090000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-01	51213.4639888000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-16	19999.7308590000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-09	20077.3167178000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-06	20339.9349857000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-423-03	35591.7504935000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-11	22442.1693287000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-10	22200.2796811000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-31	26842.1724186000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-02	20033.4027387000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-18	36461.7715556000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-02	21259.0950190000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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**Exhibit IV-2
Housing Element**

372-121-22	20029.5968974000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-09	39401.8827713000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-24	20305.9673187000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-16	25403.4827960000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-10	20103.6025415000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-12	20831.9164080000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-10	22159.1798172000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-14	21117.6393203000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-11	23068.0225208000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-09	20595.0187006000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-32	26726.2544152000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-14	21677.5336889000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-02	21903.0300177000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-07	24295.7814004000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-08	25068.7692983000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-424-07	23526.0675757000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-15	20452.9826711000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-04	19505.6594972000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-03	21154.6474732000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-01	20091.4069009000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-03	19872.4640997000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-02	19999.9339565000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-553-08	35926.6879255000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-05	20022.4490787000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-04	19968.8279244000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-06	19910.0602032000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-07	19800.7297226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-08	20462.1466043000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-09	20625.7596923000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-592-05	31048.2149564000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-33	36957.3549540000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-03	20016.7420488000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-23	19904.0257903000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-25	20732.6906840000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-541-25	19903.0683485000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-17	27681.7681408000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-13	21221.7838841000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-16	20604.0860027000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-13	21428.4677764000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-03	21559.4085999000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-09	24499.5581943000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-10	19711.0501209000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-14	19917.2828230000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-04	21199.7800023000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-13	20304.7095496000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-08	19878.4036198000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-22	23490.5503226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-21	24194.1858836000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-22	26446.3141937000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-23	24400.7283530000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-12	19547.0356739000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-26	23238.0415140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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**Exhibit IV-2
Housing Element**

372-121-04	28677.5346626000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-24	19593.3491621000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-11	19667.3978232000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-16	19764.4556656000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-15	19458.6723745000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-14	19261.2657423000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-12	19365.3690891000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-13	19586.6758978000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-10	20380.1446751000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-06	22562.1448090000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-28	19142.6215492000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-03	19838.1843094000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-03	20923.2033716000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-11	21273.9520061000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-06	19790.2031308000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-16	45253.9185933000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-07	22847.8743062000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-02	17455.9325079000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-02	24768.8017073000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-12	20355.5289471000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-07	17862.6852634000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-09	21061.5589981000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-03	20298.3788618000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-32	21562.5425520000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-11	27603.7520828000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-04	21843.5503055000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-29	22417.6863968000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-07	21044.1420619000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-16	23190.1513784000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-15	19424.4280621000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-20	23630.0232384000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-21	27895.0899233000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-09	20563.4256887000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-10	21038.1447092000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-06	23273.7088032000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-09	19573.8606022000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-282-01	19549.0437029000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-282-02	20546.5996660000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-282-03	20139.4754733000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-07	46650.2398895000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-282-04	20130.9100142000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-41	20113.6418554000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-40	19906.9790352000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-26	20383.2394731000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-05	20494.7782862000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-09	21325.3075716000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-19	19981.4131803000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-10	20196.1967536000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-17	20266.4281743000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-18	20542.4730679000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-08	20377.2442233000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-09	20491.8012537000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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Housing Element**

372-052-03	20152.0669138000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-055-01	20352.9813754000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-07	20226.9766938000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-18	20073.7949813000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-19	21898.0469728000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-17	20034.2674167000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-33	11745.8932560000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-04	21172.0536147000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-05	21055.0563593000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-06	24976.3871577000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-03	20448.1334591000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-06	20287.1196931000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-05	19915.1866996000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-12	25199.0209398000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-22	22814.0230616000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-13	20159.9184406000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-15	21472.8924788000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-13	20155.4793607000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-14	20054.5258895000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-04	20347.4955602000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-05	20073.6483303000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-06	19776.3328827000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-07	20464.6955700000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-04	19975.3235313000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-08	20093.9598405000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-07	19956.4610676000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-04	19656.6133587000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-06	25423.5196099000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-06	20021.0581314000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-01	19947.9446689000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-02	19864.0873897999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-03	19446.2922749000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-05	21146.9420437000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-05	19890.4860727000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-04	20122.5420529000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-09	20749.6826124000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-03	52042.5602287000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-13	20893.5464165000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-10	20575.7759478000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-12	21494.8864182000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-04	21739.3004569000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-05	23266.7086713000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-14	20593.1994476000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-15	29811.7583491000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-01	27668.5919935000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-07	20063.5024705000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-03	45001.6771414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-11	22460.0518220000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-12	24720.4475983000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-16	25440.9097710000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-01	19602.2811464000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-11	20464.9625997000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-032-27	20056.3843623000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-25	22249.5701348000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-05	19749.4816684000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-02	20704.0513757000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-12	22269.1253482000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-06	21568.1218171000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-11	20006.0650399000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-491-04	20040.7691599000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-04	111390.0680940000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-30	30018.5259834000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-03	13386.6225567000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-05	19886.3056414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-09	19677.2168299000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-15	20016.5364583000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-281-06	20037.4937276000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-03	20463.7403417000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-034-04	25429.6370733000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-292-10	19528.0447216000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-33	20726.5751774000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-13	21032.6656851000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-14	22957.5415872000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-17	20379.4769770000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-031-08	20430.6686420000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-07	20019.9674310000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-06	25785.0477445000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-20	20560.9899248000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-592-04	27059.9486937000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-19	20710.7275519000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-08	20017.0579397000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-04	20460.2365398000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-14	20417.1659607000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-15	20470.0272863000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-18	20392.4200543000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-16	20359.3124181000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-462-05	26362.3281702000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-291-17	20759.8066715000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-31	22191.5667650000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-121-02	22410.7947336000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-033-08	19958.5115716000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-01	23624.7708126000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-032-30	21037.0560621000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-10	25068.5065462000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-471-07	44752.8101313000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-09	29339.8393150000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-10	29129.1886065000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-10	20243.2168068000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-18	20199.0532991000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-11	19895.5047570000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-12	30671.5387198000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-12	26868.0782190000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-19	20144.8179414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-21	20364.5647077000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-161-20	20143.0406792000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-112-01	19987.7967111000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-22	20618.7517194000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-32	20349.4510179000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-31	20719.9310155000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-29	20838.7355857000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-30	20567.6106465000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-28	20161.1125332000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-07	34449.0609245000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-112-02	20193.5175136000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-112-03	19493.7604609000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-07	21014.2570248000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-08	19695.1880844000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-06	21168.7602857000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-06	20603.1877199000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-09	20474.2859367000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-13	20165.9470498000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-19	19980.6855411000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-162-45	18061.3427236000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-29	31754.7827381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-01	26248.8830420000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-08	20127.1090875000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-10	20308.6501914000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-11	19830.7448526000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-12	20211.1225752000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-06	27161.0848223000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-23	21303.2607046000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-13	20640.3344040000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-08	18993.0167080000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-07	19583.3678315000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-09	19919.3164140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-08	19794.9271871000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-33	19441.4853397000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-22	19944.7081190000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-09	20263.1652464000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-05	29514.0642443000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-27	19891.6378127000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-26	20166.5887506000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-08	21498.8316981000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-25	20286.2941183000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-24	19789.7012161000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-07	20043.0827450000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-16	21123.9700462000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-28	28666.8899676000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-17	20487.1791130000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-16	25015.7422486000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-07	21061.9863670000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-02	20743.1113124000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-12	20304.1015640000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-05	19997.4571723000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-36	19635.4755868000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-02	17794.8532795000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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**Exhibit IV-2
Housing Element**

372-111-18	2205.8632922300	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-35	19583.5430684000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-34	19076.0860370000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-20	19971.4770682000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-26	19835.6439118000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-03	20796.1992274000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-05	20207.8151650000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-04	20554.0951778000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-10	20596.4932127000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-13	19623.4715706000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-14	23138.0438018999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-17	24876.5692230000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-09	48434.9240319000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-14	24852.7366680000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-05	36963.8907149000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-02	18833.0267179000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-22	30088.0333296000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-17	44878.9558175000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-27	21999.4355390000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-16	31514.6069614000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-12	32779.3366798000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-03	24709.0923557000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-24	19915.7476025000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-11	19898.7568823000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-21	21805.5514395000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-20	23662.2589615000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-21	19581.0370041000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-30	23770.2000944000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-11	20167.3768687000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-10	20102.4571747000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-15	21119.8079820000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-26	23806.5077404000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-03	31953.3732333000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-11	19696.9119597000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-21	21604.1422878000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-04	20093.3050903000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-03	19777.0277262000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-06	19634.7994442000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-07	19855.7023582000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-08	19729.9312251000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-09	19831.1249129000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-14	19732.6049329000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-10	20011.5237442000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-02	23432.7504217000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-05	20094.1265861000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-09	20439.0217381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-13	18060.6518327000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-26	20979.6366538000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-10	20049.1394998000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-22	22282.4048310000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-22	21428.7490264000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-16	49263.8086073000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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**Exhibit IV-2
Housing Element**

372-261-25	19842.3822475000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-23	20791.6720568000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-24	23664.6610544000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-19	19882.1592364000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-25	2399.6911606200	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-31	46666.4289714000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-02	27841.8075119000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-14	12274.7103381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-22	24593.2836358000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-32	25914.5609242000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-03	20183.1978232000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-21	20022.0274828000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-04	21181.8693661000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-01	26008.1223737000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-04	20483.0450285000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-20	20072.3456742000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-19	22563.0697948000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-18	42356.4065466000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-02	19540.9974751000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-01	20187.2340117000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-25	30269.6435730000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-022-07	41113.7190985000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-092-01	20912.8580885000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-27	20293.6434200000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-16	19295.9094439000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-15	22149.9554737000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-14	20439.1292566000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-07	19935.8242393000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-06	19935.8165867000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-05	20362.6910909000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-23	45777.7217507000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-28	19881.4720105000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-29	20013.6104525000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-17	44603.9165720000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-28	21555.1891140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-23	18271.4031944000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-12	570631.0287140000	School	E-4 Small Estate Residential	School
372-451-26	20405.2487992000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-27	20318.0848478000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-10	20802.5160234000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-09	20352.9852258000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-08	20443.6517475000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-141-01	16898.2821532000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-07	20894.4837383000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-05	20520.3169381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-06	30855.4974352000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-04	20488.2893095000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-03	20471.2106629000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-02	20464.4206627000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-22	20214.6951847000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-23	42523.4892107000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-10	19818.5398517000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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**Exhibit IV-2
Housing Element**

372-171-08	19904.7506572000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-09	20057.9996805000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-07	19845.1671169000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-31	20490.4379257000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-32	19982.9803578000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-20	20099.8159200000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-12	37588.5551091000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-05	19297.9074625000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-10	35866.9942387000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-31	20342.5240361000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-30	20750.9626046000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-092-02	20840.7735108000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-13	15435.3513223000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-26	20501.4494188000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-11	20050.8652193000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-06	20281.6832222000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-12	22412.4184489000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-11	21502.6699456000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-21	20246.6006750000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-30	20153.1742702000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-04	21894.0640870000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-08	19811.1309384000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-04	20239.3673977000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-33	19772.4902406000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-10	25757.3730712000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-17	20362.6078171000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-13	20456.3051208000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-11	21462.0270502000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-15	20912.0555136000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-06	19962.6185967000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-14	19937.8161380000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-11	20196.5993940000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-12	20109.4762802000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-13	19880.6624937000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-14	20023.8608654000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-15	20036.2311704000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-16	20175.9246908000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-17	19976.3164290000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-18	19960.8939683000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-19	20124.9014847000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-20	20084.9955665000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-101-21	20151.2252671000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-12	20164.4606658000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-05	20109.8056487000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-15	21497.6343772000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-14	24492.7630721000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-29	20108.9006226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-22	19965.1862794000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-09	22667.1410357000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-14	20108.1867339000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-022-03	27277.7939304000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-34	19959.1112357000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-182-13	19952.5770212000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-03	20576.7164144000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-18	20238.7382410000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-17	20184.1337699000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-25	20502.6102140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-32	20096.5470992000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-35	20556.0058783000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-13	20153.5008283000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-04	20101.9136283000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-23	20097.7868650000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-28	20065.2795670000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-14	20001.0080808000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-07	20216.9125011000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-022-10	25594.0931889000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-022-05	19878.4580467000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-02	20107.4051947000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-08	20939.9702291000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-35	19617.2854106000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-12	20606.1050818000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-16	22261.0429331000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-03	19741.7035758000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-16	22893.9625831000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-27	20438.8212959000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-24	20054.1216931000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-24	20146.6152925000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-17	25008.6005116000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-11	19659.6173048000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-10	19770.8522659000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-09	19809.4747959000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-08	20180.8278846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-07	20006.8416369000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-06	20211.4026509000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-05	19980.4130742000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-093-02	20090.5796741000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-04	20160.1941794000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-03	19949.5810297999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-02	20131.8619846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-08	20257.4957859000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-102-01	20014.5727189000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-19	21334.0427518000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-022-09	24328.3897378000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-11	21184.3985560000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-18	14823.5936610000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-15	20705.4391577000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-10	20004.1701680000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-02	20171.6286246000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-33	20074.9312938000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-34	20039.2395801000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-181-13	19979.3013998000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-01	19671.6425140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-07	20433.9410604000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-36	19811.8580668000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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**Exhibit IV-2
Housing Element**

370-021-19	20271.6714861000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-02	20027.7006904000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-26	20613.2721224999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-25	20736.3290108000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-20	19747.3484026000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-22	23700.4333189000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-471-04	19710.6312727000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-471-03	20719.2449234000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-14	20269.2803695000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-471-05	21304.7769342000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-471-02	20528.9111246000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-05	21377.3479545000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-30	41742.6505757000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-15	38204.1502112000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-14	19563.8432426000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-13	19553.0964527000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-12	20694.6378770000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-09	19536.9410341000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-141-01	408681.3958269990	School	E-4 Small Estate Residential	School
372-261-07	19671.1349640000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-09	43559.9393668000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-08	27398.0337693000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-09	19807.4059306000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-04	25482.1085439000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-23	19704.8895913000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-12	21607.9812975000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-113-01	20072.4066024000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-27	25520.9841138000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-111-06	20484.8446755000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-221-04	24097.1287088000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-08	20116.1788381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-472-13	20141.6434750000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-15	24627.6028809000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-161-10	47188.6964709000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-093-01	20927.1436933000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-182-09	20271.9447755000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-16	20516.3536344000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-18	20241.1457657000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-12	20714.2492044000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-09	19977.3949981000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-091-03	20255.4540226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-15	20744.0359371000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-10	22880.2053461000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-39	22074.9660137000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-20	21037.7078460000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-42	21912.5821700000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-06	20714.2529271000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-082-02	21174.0562503000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-07	21416.1787919000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-02	20058.2175161000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-24	20871.2704306000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-02	23377.9112402000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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Housing Element**

378-191-03	19818.8342812000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-06	21118.9517618000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-171-37	10860.5478076000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-021-21	20251.5807757000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-11	22458.3604553000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-04	20856.4887893000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-21	20422.1550009000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-02	20175.5140617000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-03	19074.9852542000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-01	20372.1653753000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-053-01	20439.9737380000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-09	20210.8040125000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-01	19736.9662557000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-13	21319.0322020000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-07	20191.1974097000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-12	19924.2265024000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-11	19762.2371089000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-10	26846.5687567000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-14	21750.2238850000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-13	21206.7507225000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-12	20702.0721493000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-11	20591.3509964000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-10	20095.8354126000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-09	20919.3044964000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-08	20730.8984525000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-07	20615.0523790000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-06	20825.8655712000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-05	20179.4449576000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-28	23613.3589062000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-37	21421.2227503000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-38	22115.4576585000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-43	22146.9622780000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-232-02	#####	School	E-4 Small Estate Residential	School
372-051-14	22204.5874726000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-09	19840.3081938000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-05	20662.8095400000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-02	19806.6652237000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-08	20715.4862968000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-27	20476.2742652000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-06	20342.3387479000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-07	20306.4894674000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-191-08	20461.8628476000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-054-01	20695.3825518000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-36	21424.8353383000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-18	20339.1781022000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-17	20596.7755298000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-19	20323.9511764000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-20	20303.1282582000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-21	19822.7390132000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-22	20024.8597927000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-23	19892.3258093000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-15	21109.4922668000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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Housing Element**

372-051-16	20277.4555914000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-24	19889.7712762000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-25	20190.1170379000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-16	21381.1616430000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-061-15	21924.7771476000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-08	20401.3997289000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-03	20882.6476439000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-06	30305.5122866000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-04	20175.3398804000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-09	20087.1130510000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-10	20272.0141811000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-08	20351.6079683000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-07	20014.5343589000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-06	20287.8717263000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-05	20565.0383359000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-04	20253.2048877000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-03	20421.7431555000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-02	20209.7350718000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-01	20071.9546133000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-11	19844.9242788000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-07	20759.0011042000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-04	19728.0564870000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-052-06	20366.1056031000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-20	20568.6317350000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-02	20264.1199077000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-03	20054.2770257000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-04	20041.6844685000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-05	19511.7470956000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-062-12	21106.0964629000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-21	20218.7569484000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-01	20161.9166935000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-22	20355.9972965000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-055-01	20265.2275248000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-051-23	20278.2671769000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-192-07	19800.8905958000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-24	20211.1086583000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-22	20901.8052616000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-04	20594.7739310000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-19	20174.4934882000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-18	20810.3768208000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-17	12793.5422990000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-17	20183.4620087000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-30	25448.0853892000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-31	20894.7846338000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-20	21262.5853302000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-19	21105.5720157000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-10	24158.1605058000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-09	20637.8889148000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-082-01	21672.6655754000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-08	21712.4343147000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-01	20186.6548317000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-23	30720.8942781000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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372-081-22	21686.9576567000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-21	22326.5588770000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-20	21028.7893836000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-17	20147.5277077000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-16	20130.0467445000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-15	20047.2054370000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-14	19925.4345496000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-23	21203.5784894000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-22	20204.9324281000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-21	20443.2631316000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-20	19762.2321980000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-18	19978.4093485000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-19	20316.6143620000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-25	20294.4414939000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-21	20905.3061786000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-20	20262.0211769000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-08	19823.1162039000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-21	19764.3536413000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-13	19957.8523996000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-16	20103.2686264000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-11	20234.2187872000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-18	20552.0796057000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-29	20650.3655803000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-08	20171.0169441000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-32	24343.2187727000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-24	20382.4560177000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-09	20085.4946378000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-28	20663.2002588000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-09	19827.7780880000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-10	19974.1399600000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-11	20168.4948215000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-12	20487.8513698000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-15	19850.4208641000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-03	20436.9173875000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-01	21682.7164689000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-22	20267.5526140000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-23	20529.9893105000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-02	20849.4956342000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-17	19977.7155918000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-15	21291.1284813000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-12	20139.7391206000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-25	21026.6289688000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-33	20713.2815178000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-32	20480.4110977000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-31	20371.6278898000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-07	20360.1388374000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-27	20369.0785172000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-33	25081.2631996000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-082-03	20967.7453879000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-162-44	16992.9015967000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-06	21473.9653754000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-03	20340.7101218000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

372-081-25	20032.3006346000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-26	20380.9388774000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-08	21936.9089041000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-05	20395.8446007000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-23	20621.7751985000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-05	23009.5611042000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-04	19786.5698628000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-03	20176.3911569000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-02	60361.8920070000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-14	20346.8767317000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-31	22332.7710166000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-28	20183.8141920000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-16	21264.8799847000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-13	20107.8732823000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-26	19971.1304299000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-07	28251.9735577000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-30	22099.0542476000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-07	20472.5463338000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-08	20716.3116113000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-09	16174.2311459000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-06	19525.5496609000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-27	21053.1693809000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-082-04	19818.6835145000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-05	20211.0786562000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-24	20268.0519864000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-083-04	20298.6206866000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-34	21160.6557379000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-084-06	20498.2307514000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-26	20085.0136051000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-15	27875.5721437000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-14	22376.4406318000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-081-13	20216.6518747000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-28	19491.8610693000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-29	22536.0187987000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-201-25	20154.0526513000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-36	20483.8646314000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-30	23243.8773478000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-35	20342.4622825000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-071-29	21125.5936341000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-11	16666.0304820000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-12	12047.8534100000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-151-13	14406.3256956000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-01	20408.9856331000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-02	19909.2210645000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-03	18240.4587149000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-12	25294.9308192000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-11	36125.4486860000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-09	20409.1029142000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-06	20119.9548579000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-01	20191.3188281000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-07	23101.1096242000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-08	19693.6413784000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

**City of Villa Park
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Housing Element**

370-291-04	18741.1530640000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-08	19921.8209653000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-01	26097.0472293000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-23	19743.7375908000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-01	25371.9531519000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-01	27782.9575466000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-40	32750.8092718000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-32	20074.2177304000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-33	26090.9921910000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Vacant
378-082-01	20192.1286381000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-02	21511.0599981000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-03	22667.8527191000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-04	22793.0087538000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-05	19176.7039050000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-31	21528.5011697000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-32	23889.1014747000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-17	20010.3227657000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-27	19903.9326081000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-13	20384.5574154000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-14	20041.2283026000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-15	20377.8512012000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-16	19895.3089899000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-051-01	20059.8519646000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-03	23531.2767181000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-02	22530.5257876000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-08	20514.1083263000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-13	28764.1093538000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-02	20060.1668994000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-02	22453.8914358000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-22	19607.3700083000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-07	21309.4094503000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-28	21708.3875558000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-29	34952.7916491000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-33	20044.4389499000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-06	14642.7832591000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-082-02	20222.3675332000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-051-02	19794.1497995000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-30	20645.5802022000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-05	21438.9483628000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-12	20395.4053927000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-09	19871.0763909000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-08	21106.7708927000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-17	21821.3839199000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-10	19005.3449179000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-07	20596.4062627000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-05	19757.3320912000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-06	19695.5356502000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-09	18841.4313533000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-08	18178.7922774000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-03	20379.9551616000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-14	35712.6366080000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
370-291-07	18330.7949859000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

378-091-21	19999.0470616000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-29	21043.1423113000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-31	20173.0072883000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-34	20399.4441515000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-32	34737.6499931000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-04	20028.0396584000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-05	20037.9282841000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-093-06	19690.2355871000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-07	14776.5237325000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-051-03	20207.4193796000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-06	20730.1581805000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-05	20307.6093504000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-16	20183.1924246000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-04	20476.4565241000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-34	19953.0141498000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-07	22848.9626033000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-082-03	20170.2187679000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-15	22225.7533262000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-11	20624.2871059000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-02	18951.0186192000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-03	21715.1393793000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-04	20133.7073558000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-06	20579.1132221000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-20	19848.1320399000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-26	28560.0986816000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-24	28089.2258854000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-25	27633.6858043000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-05	22769.1103253000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-101-04	20241.2338557000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-10	19937.1822431000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-08	14465.4358138000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-21	17251.3193224000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-191-04	19915.4279629000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-051-04	20053.7655969000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-03	22158.5927945000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-06	22119.1276166000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-35	28430.5604615000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-05	20301.1747173000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-10	19643.8444698000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-05	20706.6583750999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-19	21220.7137893000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-35	19733.9709433000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-37	19741.5090183000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-38	20342.4768208000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-27	20788.4726214000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-37	20284.3414253000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-36	20247.1665070000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-16	14896.6213716000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-07	21680.9371734000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-36	19964.4550878000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-03	19595.0698455000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-17	19602.5952818000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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378-091-16	19765.6509937000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-15	20360.7193349000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-18	21537.2681338000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-22	21452.8258157000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-23	20518.5145718000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-04	20059.0917985000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-20	20053.4126037000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-21	21006.0635969000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-06	20174.7949456000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-09	22679.4895135000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-04	37609.6950745000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-02	20261.4962559000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-03	21062.4293635000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-02	20175.5768212000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-192-01	19793.6758453000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-01	20904.7222054000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-052-08	21512.7633106000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-20	30153.0284037000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-17	14486.4762479000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-102-07	22570.5115722000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-13	22125.6039015999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-14	20012.2811534000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-07	27253.6586510000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-06	20843.2653700000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-13	22277.9482927000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-14	41212.4462051000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-16	20391.9339064000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-17	20309.5005253000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-18	39713.9046753000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-20	20981.5561261000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-19	20542.1545277000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-071-18	21002.7332387000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-33	19921.3773010000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-22	20130.3703836000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-34	20294.0550028000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-07	21478.9827177000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-35	19905.0382964000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-06	20250.9667973000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-05	22256.7745725000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-04	21695.5687015000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-05	19373.3506820000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-18	11341.7841035000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-06	29819.7408171000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-03	20433.1917974000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-08	19986.3349463000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-12	20654.3813800000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-08	20087.8055188000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-39	20445.6835647000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-09	21250.7418109000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-38	21831.9695035000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-36	20048.9295565000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-10	20447.6976211000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

378-061-11	20303.5327659000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-37	20794.6569665000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-01	19898.7340554000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-07	19835.2436773000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-12	9825.2563558200	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-22	21188.0545000000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-21	20848.1866336000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-23	20416.0309874000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-26	91572.7749916000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-20	20825.6866289000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-24	20487.2142619000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-10	21964.0155919000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-103-08	11449.1217225000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-11	19098.5552549000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-091-10	20558.5661143000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-14	42003.3185004000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-13	20294.4049151000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-02	19933.2831299000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-12	20134.6646577000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-41	22666.5093565999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-42	22430.9980823000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-43	21083.6158733000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-02	21965.0589164000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-072-04	25472.1846581000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-29	22049.4763346000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-47	20013.3091859000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-09	25364.1164504000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-01	21753.5138353000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-46	20123.7718951000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-44	20054.3276594000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-03	23127.4014797000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-19	20474.4711791000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-20	19932.2627887000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-061-45	20265.0488814000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-04	20264.3716367000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-092-05	18953.4169839000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-081-30	23078.2812403000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-01	20107.9655019000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-09	20330.5882302000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-24	21369.9187891000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-16	20129.7050018000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Vacant
378-201-15	20187.5409477000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-19	23653.0981857000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-10	23698.5868239000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-11	21721.5270045000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-27	17910.6038484000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-01	18105.0306765000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-05	19659.4781018000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-03	17373.7424065000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-04	18081.0014021000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-18	21585.3998625000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-20	20252.9449911999	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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Housing Element**

378-201-02	20153.1389318000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-14	19661.2844665000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-08	24799.7402378000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-10	20307.2964564000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-26	21516.7144750000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-23	19952.5526801000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-06	21307.0183207000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-17	23687.5657644000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-03	19975.2465598000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-13	20159.2176922000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-07	20333.3711217000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-17	21618.9147423000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-22	21523.8344931000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-01	20035.3818332000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-08	21393.7564535000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-03	20022.1133875000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-16	20899.0696846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-19	26500.7645328000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-21	20494.5831960000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-22	20189.9769869000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-04	19859.8556004000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-02	19733.5644648000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-201-07	19821.4739944000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-23	21739.8189393000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-12	21373.2483417000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-11	22166.4759598000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-11	20296.2724261000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-16	381716.1899160000	School	E-4 Small Estate Residential	School
378-291-10	21220.6097194000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-202-26	24356.8527576000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-09	20658.8418261000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-21	21986.2981629000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-08	20221.5773633000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-01	20385.7964174000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-14	20750.3059003000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-01	20372.7516959000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-09	27822.4986933000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-08	21759.2815003000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-24	21019.8311561000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-17	21825.9474470000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-14	21936.8871378000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-07	22570.6752592000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-07	19968.1766099000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-02	20118.4435886000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-10	24911.3533104000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-02	20017.2514562000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-15	20820.5812592000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-16	12352.5097340000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-291-08	20314.2358891000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-06	20319.3928519000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-11	25376.4121003000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-06	20262.3967019000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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378-211-04	19810.5543225000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-03	20019.9078465000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-03	19994.8740624000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-05	20044.2512399000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-13	20865.7848840000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-12	20111.1556388000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-20	18984.1032906000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-211-05	20138.7280514000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-04	20387.1883175000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-26	19986.3304389000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-27	20330.7692969000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-01	20150.1560369000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-02	20066.7122842000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-03	20530.2618984000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-04	20492.8969830000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-05	20484.8920045000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-06	20392.6824465000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-07	20284.1782547000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-08	20327.6232168000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-09	20151.3846148000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-24	21510.7846160000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-23	21415.3870568000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-15	21073.4806292000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-16	19266.6144192000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-17	19552.9810758000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-18	19939.6152857000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-19	19881.5482432000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-20	20216.8011846000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-212-21	20496.6338136000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-16	20478.1431390000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-15	20055.8571774000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-14	20234.7764174000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-13	20042.2422692000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-12	19935.8201181000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-11	20270.4627440000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-10	20085.5746840000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-17	34353.5175133000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-09	21977.0266608000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-12	40677.2509205000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-11	20930.2271194000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-10	21850.3197545000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-08	17859.4718469000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-36	10425.7111418000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-18	23115.9524646000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-01	20211.9832552000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-02	20055.9209958000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-04	20087.8436624000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-05	20081.1122151000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-03	20263.3603096000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-06	20826.4390763000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-242-07	20007.1016226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-13	20379.3393230000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Vacant

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378-221-14	22362.7271341000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-15	22049.1572453000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-20	21850.0158221000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-24	20303.2799214000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-241-19	19850.6426441000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-02	19745.7117118000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-03	20010.7786287000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-04	19860.6204414000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-05	19921.4606378000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-06	20021.7119854000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-07	21372.2959309000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-01	20200.1236116000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-16	22269.3147729000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-19	23247.6719125000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-26	23634.1955388000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-02	20029.4949978000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-30	23131.1825098000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-17	23072.1686942000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-18	33507.5268844000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-09	20383.3636946000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-11	19775.2963617000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-10	19988.5206332000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-12	20177.7264400000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-13	20223.5235344000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-14	20169.8495447000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-33	26390.4481330000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-04	20086.5504699000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-34	22115.6364289000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-20	25984.2879592000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-21	20961.3788700000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-23	32808.8325238000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-15	26255.0463349000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-22	20157.5424940000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-05	20076.4970127000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-29	30646.1204137000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-06	19836.4198746000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-421-01	23970.2586828000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Vacant
378-251-24	27686.1146686000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-17	20878.4223303000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-25	24651.2395241000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-07	19980.7314399000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-26	26711.9181249000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-27	26747.4900990000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-19	20453.7085010000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-08	20185.0394499000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-18	22323.6365084000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-28	23717.1074096000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-09	20065.8373323000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-261-10	19975.8211138000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-29	22067.0456237000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-30	21811.1243732000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-251-31	24364.1831068000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

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378-262-01	25520.6261567000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-262-02	23467.9897982000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-22	15980.0305652000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-21	21107.6811454000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-22	21505.3476273000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-041-19	18346.2240737000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-25	19386.4000680000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-24	19754.8613297000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-32	22176.7950928000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-451-33	25145.7694407000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-461-07	15168.9621988000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-12	43836.7907692000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-501-14	69752.5257160000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-421-06	20852.1155314000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-421-04	25744.7303330000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-421-05	20119.2092513000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-421-03	22440.7446205000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-31	20122.9764777000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-521-26	40265.2755355000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-402-20	21697.5493718000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-31	25907.3611673000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-261-01	21722.4752860000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-32	23541.6687855000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-31	20857.9069535000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-33	20528.6626226000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-28	23810.3231008000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-19	19540.7493091000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-27	20867.8192789000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-23	19004.4637802000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-34	20178.4182622000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-242-02	27254.3708782000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-242-03	10933.0231280000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-18	19327.1780592000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-251-17	17000.0357363000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-30	20915.3293565000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-241-29	21648.2500201000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-27	20513.3601412000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-04	19282.5137465000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-28	30878.4036792000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-561-29	35464.7564541000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-441-08	20564.1449106000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-441-09	19290.1576415000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
372-442-01	17099.9395783000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential
378-221-25	20162.0328708000	SFR - 1.75 du/ac	E-4 Small Estate Residential	Single Family Residential

General Plan Land Use Code: SFR - 2.5 DU/AC

APN	PARCEL SIZE	LAND USE	ZONING	EXISTING USE
378-231-13	12269.7411249000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-12	17847.0110222000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-14	12541.4574677000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-26	21379.5690082000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-06	20123.7288505000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential

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378-231-25	13455.4082786000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-11	12378.8907185000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-24	11897.3486698000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-15	12056.7251173000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-10	11807.0768159000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-05	20165.1959775000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-23	12120.8389664000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-09	13586.5665515000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-03	19195.7048721000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-07	11442.9038417000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-19	12156.7806913000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-20	12642.6046235000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-16	12275.9723819000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-32	14449.3130486000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-33	12195.9439876000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-36	12098.2675700000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-35	13170.9628322000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-27	19995.1258983000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-01	17385.2001801000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-37	11891.1669408000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-31	12606.7896093000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-29	12467.9857746000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-28	20060.8728672000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-30	13580.1733580000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-13	11020.4026935000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-15	12109.9933912000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-23	12069.8458195000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-22	12322.9046658000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-14	12930.7810341000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-12	12373.0125899000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-21	20283.0691164000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-39	10814.3252572000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-11	11752.1658091000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-18	12162.9571476000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-19	11916.3169410000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-20	20224.8876101000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-38	12198.8159298000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-10	12406.2473930000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-37	12470.1523253000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-35	11975.7680422000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-36	11718.2218875000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-34	19842.0774836000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-09	12309.3459044000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-30	12156.9405378000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-31	12232.2257513000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-32	12259.9148215000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-33	20089.1331819000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-08	12129.9016722000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-07	11916.7849210000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-27	12038.2930659000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-26	12082.4112065000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-29	12204.1767291000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential

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378-011-28	12118.4596755000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-011-25	20160.3819054000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-06	12250.1837962000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-11	12327.4507359000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-12	12276.5874923000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-13	12444.8589603000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-10	12636.3976218000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-05	12255.3331530000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-04	12030.0227831000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-14	22131.9213077000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-02	11885.8895702000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-05	23769.9949470000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-04	13344.2842868000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-03	12451.8183092000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-02	12404.4155852000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-01	12304.0253926000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-01	12079.8264082000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-481-27	13575.2188980000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-26	14238.7459917000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-28	13650.5545166000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-29	13478.5723409000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-30	13361.7916038000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-25	18998.4908445000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-32	14824.7364066000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-19	13589.9911417000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-18	13876.5112985000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-10	18991.9952669000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-09	13662.4562380000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-08	13575.5156795000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-07	13611.9986335000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-03	23621.1315902000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-06	13537.6493591000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-05	13617.8203258000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-04	18648.6006776000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-481-11	18736.2317643000	SFR - 2.5 du/ac	SFR: R-1 13,500 SF	Single Family Residential
372-141-02	12851.1538716000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-08	12271.5005095000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-07	11942.3739375000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-06	12711.2192599000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-013-03	11976.0909073000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-012-09	12359.1176708000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-23	11966.9154567000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-21	12041.6250897000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-22	13177.6046357000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-20	20499.0328518000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-03	12082.4795381000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-19	20285.1221494000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-18	11931.1624998000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-17	13104.0377111000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-16	12241.7690334000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-05	12116.9183448000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-14	13118.1412598000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential

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372-141-13	12131.9604518000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-15	12117.4980869000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-12	20140.1554648000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-10	12081.3091283000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-11	20058.3835457000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-09	12202.2979927000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-08	12128.0551665000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-07	13810.2818951000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-06	13487.2146728000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-481-01	13499.2321644000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-23	14363.3635695000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-24	17762.0439398000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-22	13680.8361302000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-21	13659.9445174000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-20	13571.1499819000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
378-231-21	11998.6746340000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-18	12098.9084520000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-481-13	14079.4326791000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-14	13702.6171820000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-15	13777.7988817000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-16	13604.7898733000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-17	13760.8798242000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-12	14291.0009881000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
372-481-02	13723.4836605000	SFR - 2.5 du/ac	SFR: R-1 13,000 SF	Single Family Residential
378-231-09	11738.5366106000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-17	12577.5595419000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-22	12342.0096091000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-08	12082.3451459000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-231-04	19777.6072206000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-122-01	12413.0439048000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-122-07	12151.1347662000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-122-08	11956.0805198000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-122-09	12007.9641404000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-122-10	12277.5223372000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential
372-141-04	12108.3748206000	SFR - 2.5 du/ac	SFR: R-1 12,000 SF	Single Family Residential

General Plan Land Use Code: SFR - 3.0 DU/AC

APN	PARCEL SIZE	LAND USE	ZONING	EXISTING USE
378-333-54	8757.3618758100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-55	9434.3149819300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-60	10306.7052886000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-61	11743.3213608000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-42	16047.5439484000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-41	16295.5869677000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-264-11	14294.1274108000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-08	13320.4530891000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-10	11918.7941408000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-09	11785.7918821000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-07	10014.6954247000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-37	9811.1026745800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-38	9895.6598231300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-36	9898.6802516700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential

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378-264-06	10928.8093880000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-40	25345.2866687000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-39	11154.1702166000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-31	8582.4907045200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-32	8659.6621253100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-33	8517.4760237900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-34	8763.3913050100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-35	9157.8373306000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-264-04	10000.3424827000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-14	20341.2049082000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-16	12053.0492477000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-15	12237.8646311000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-03	9981.4375661100	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-27	9175.8502765800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-261-17	11964.4040242000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-18	12153.5588528000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-30	8620.0995733200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-29	8637.9048272900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-28	8246.2618746400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-26	10678.0641832000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-264-02	10123.1095074000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-01	10158.3902104000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-21	8622.0627810300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-22	8664.1559978700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-23	8536.0251992100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-24	8953.3323290100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-25	11188.5169796000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-261-20	20436.6056620000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-21	12440.0105823000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-22	13629.0693091000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-16	11017.3226095000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-20	8405.2283199700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-19	8581.9395294000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-18	8218.2237677700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-17	8765.5184463000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-263-07	9946.0133806400	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-263-06	10325.1926583000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-25	20249.3469222000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-23	12283.6020369000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-24	11660.8380081000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-264-05	11007.5851102000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-11	8376.3565919400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-12	8728.7452166000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-13	8425.9469800700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-14	8477.2755502600	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-15	11055.4808649000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-07	8416.2788686400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-263-05	10049.8657388000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-31	20047.3159270000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-263-02	10104.8596249000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-01	8583.5149316800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-02	8578.0782252100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

378-131-03	8636.1167562500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-04	7953.7339492900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-05	12129.0468826000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-261-29	12088.5976442000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-30	11788.5582269000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-08	8227.4979580700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-263-03	10057.2436582000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-123-07	7997.7706568800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-06	8762.7506088100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-05	10225.3790306000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-04	10163.9925035000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-01	8490.7413054300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-02	8042.4458485300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-03	7808.2836490400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-123-09	9818.1928315500	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-10	9863.9242028800	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-11	9906.9283993300	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-12	9965.5768237100	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-13	10035.2055938000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-14	10002.5560604000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-08	9243.2370942700	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-123-15	9949.3588335900	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-22	12132.1902763000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-21	11945.3214840000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-121-17	8090.1949160100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-05	7981.9489564700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-08	8264.2100900300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-124-07	9884.6609336300	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-122-22	10083.3243005000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-15	10115.1541613000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-14	10107.8672406000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-124-06	10157.6150642000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-06	8644.1472924000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-18	9732.3662224000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-06	7912.1533624700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-07	8145.6169117700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-241-28	11954.9741734000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-29	12331.0619903000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-30	19606.0397700000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-23	20099.6374034000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-122-05	7940.6250181200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-124-05	9897.9407422200	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-21	10006.7362188000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-16	9989.1379252400	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-121-16	8070.0073282200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-09	8338.7664810600	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-04	7945.4593761100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-122-13	9940.1120149100	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-121-15	8191.3650016400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-124-04	9959.1462112600	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-04	7829.4777466500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-122-12	9849.2689997000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

378-121-10	7092.2297994500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-122-11	10104.1945485000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-02	8150.5049346800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-122-19	11499.0894154000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-18	10412.6065876000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-124-03	10837.2690142000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-124-09	15567.2412495000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-121-14	8049.1994267100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-124-10	13029.4861622000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-25	11974.6046607000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-241-24	20484.9158309000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-121-03	8136.9175630200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-122-17	10007.3948245000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-122-20	10099.7814858000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-124-08	12160.1717552000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-122-03	8015.7817776300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-02	12738.6032148000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-124-02	19970.7193876000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-124-01	20039.6580599000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-121-01	13582.9464420000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-11	19932.0978381000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-121-12	8122.6025247000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-27	8164.7201584000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-01	8166.9523467300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-04	14008.4207948000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-261-27	11948.4989670000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-28	12342.0956724000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-131-10	8514.0905637500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-131-09	8743.3954299200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-263-08	10131.0382192000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-333-58	13584.6541728000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-45	9240.4166242300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-40	9247.7254015400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-69	9625.6268587800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-39	9148.5594178300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-46	9324.5841213400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-51	9229.2971461200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-52	8662.7916472200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-57	10418.1885604000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-63	15070.3328299000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-59	8740.5429733900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-41	8475.5293564000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-44	8377.3923479400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-38	8364.8353933100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-35	8546.9502752300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-47	8639.4343309300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-56	8274.7273995500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-50	8494.9802220100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-031-30	12287.5750496000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-58	10382.1046972000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-51	10972.3825048000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-50	10684.1469363000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential

**City of Villa Park
2010 General Plan**

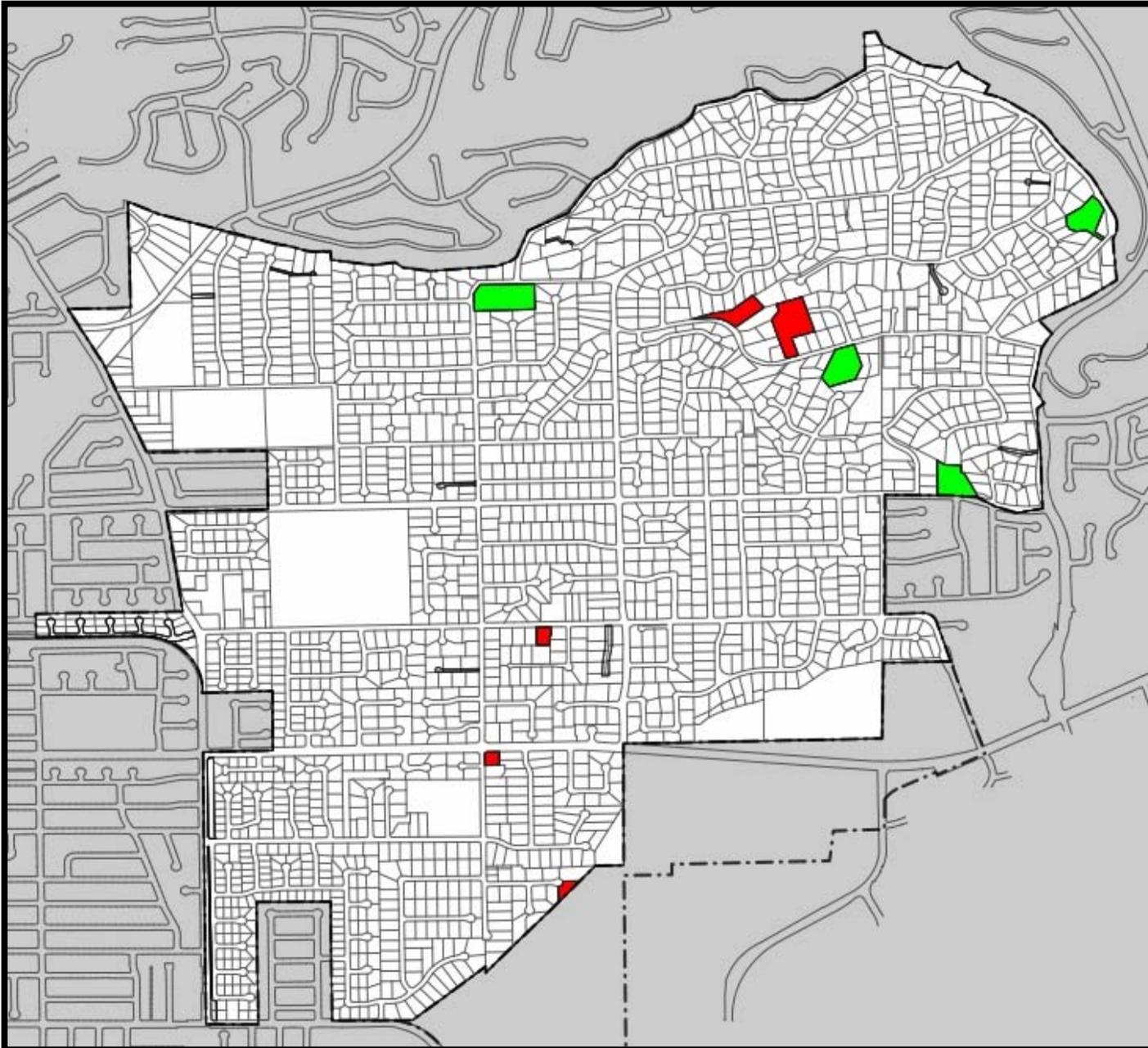
**Exhibit IV-2
Housing Element**

378-333-53	8135.4754097800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-62	10588.9170692000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-37	8731.7940732700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-36	8846.7376147800	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-42	8954.5077033500	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-43	8855.0470217900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-22	7703.3037568900	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-18	8599.6331890000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-12	9611.2816034300	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-23	8439.5233632700	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-07	12183.1974766000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-17	8475.0228147300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-031-32	11891.8809171000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-57	10634.3201411000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-49	9217.0573810400	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-52	9989.0366225500	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-31	12288.9337129000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-333-48	9009.6745344000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-333-49	8973.0983075200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-031-48	10391.3824497000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-56	10376.7998721000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-53	10355.6419925000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-55	10557.7194542000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-54	10449.4576782000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-46	10340.1807812000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-34	11869.9510581000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-40	9737.3839605400	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-39	10990.6113353000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-33	12192.4871239000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-45	10334.4652460000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-35	11996.0255153000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-41	9563.2476071600	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-38	10233.3557978000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-44	9769.9506097100	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-36	12033.4982854000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-42	10184.8947969000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-37	10693.2743345000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-031-43	9723.1825119000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-112-01	11710.8277857000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-41	11159.5664899000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-38	9285.1826076200	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-39	9479.2809735100	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-37	9580.2922173700	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-40	10620.2337552000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-32	12133.9107579000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-33	8792.8320980000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-34	8760.5702707500	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-35	8790.8677902100	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-36	8895.0545006800	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-42	11726.3625806000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-121-13	8071.0061088200	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-263-01	9762.7325015400	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential

**City of Villa Park
2010 General Plan**

**Exhibit IV-2
Housing Element**

378-131-06	11722.9810379000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-263-04	10062.8347993000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-261-26	19923.5091032000	SFR - 3.0 du/ac	SFR: R-1 10,000 SF	Single Family Residential
378-111-10	11769.0076782000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-19	11395.4531881000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-20	9934.3898335300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-21	10249.7010565000	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-11	10612.4705734000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-08	13276.3778920000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-13	9412.1686122000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-24	8413.1289191200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-16	8754.9518555300	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-06	11933.4174355000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-14	10399.4549411000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-25	8257.5621859200	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-15	9368.9877115100	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-05	13196.5320648000	SFR - 3.0 du/ac	SFR: R-1 12,000 SF	Single Family Residential
378-111-26	8308.5883007400	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential
378-111-03	14261.8536263000	SFR - 3.0 du/ac	SFR: R-1 9,000 - 9,500 SF	Single Family Residential
378-111-02	9004.7874356600	SFR - 3.0 du/ac	SFR: R-1 8,000 - 8,500 SF	Single Family Residential



City of Villa Park

2010 General Plan
Exhibit IV-3

Developable Vacant and Sub-dividable Parcels

Legend

-  Developable Vacant
Parcels
-  Sub-dividable Parcels (>4
Parcels)



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

V. OPEN SPACE/CONSERVATION

INTRODUCTION AND BACKGROUND

General Plan Legislation

The Open Space and Conservation Elements were first required to be part of City and County General Plans in 1970. The focus of this legislation was to underline the importance of protecting open spaces and recreational areas to serve the population for years to come.

Purpose and Function

The Open Space Element designates “open space land”, which is defined by Section 65560(b) of the Government Code, as “any parcel or area of land or water which is essentially unimproved and devoted to open space use.” Open space use, in turn, is defined to encompass four principle categories: natural resources; managed production of resources; outdoor recreation; and public health and safety.

The Conservation Element is required for the purposes of establishing a management plan for natural resources to prevent waste, destruction or neglect. This element of the General Plan is concerned with the conservation, development and utilization of natural resources such as water, soils, rivers, harbors, wildlife, minerals, and other natural resources.

Relationship of Other General Plan Elements

Within the 2010 General Plan, a Land Use designation was added for Open Space and land within the City has been assigned the Open Space designation. The Conservation Element overlaps those categories of the Open Space Element which deal with “open space for the preservation of natural resources” and “open space for the managed production of resources.” As a result of this overlap and interdependence, the two elements have been combined, which is permitted under State Law.

INVENTORY OF EXISTING CONDITIONS

Open Space

The significance of the extensive rolling terrain located in the northeasterly portion of the City and the physical influence of Santiago Creek on the environment relative to community development has been carefully assessed. The sparsely developed rolling hills in the eastern and northern sections provide natural barriers accented by landscaping, to help preserve the appearance of a rural, uncluttered City. The primary factor in the City’s setting are the estate-sized

lots which allow for dense landscaping, mature trees, and private recreational spaces on private property. With approximately 99% of the City developed, it becomes increasingly important to maintaining existing development standards and focus on environmental enhancement.

There are four schools, shown in **Exhibit V-1**, with outdoor playgrounds totaling approximately 80 acres. There is a competition size swimming pool at Villa Park High School which was funded jointly with the City of Orange, the Orange Unified School District and the City of Villa Park. This pool is utilized as a community recreational facility and for school activities. Villa Park High School has four lighted and four un-lighted tennis courts that are available for public use during non-school hours.

The City has a Master Plan of Recreational Trails, also shown in **Exhibit V-1**, and approximately 50% of the trail system is complete with paths and split rail fencing in some areas and sidewalks in others. The City will continue to develop the trail system, linking areas in the northeast with areas in the southwest of the City to facilitate pedestrian recreational use. In coordination with regional and local recreational trail master plans the City has added a fill-in link along that portion of Meats Avenue that lies within Villa Park, that when developed will allow residents to connect to the City of Orange trail and the County of Orange trail systems.

Additional property within the City, located within the Santiago Creek Recharge Basin, and also public right-of-way along Wanda Road, commonly known as the Wanda Greenbelt, have been designated as Open Space. These Open Space areas can be found on **Exhibit V-2**.

Conservation

The community of Villa Park relies upon reliable sources of clean water and a safe environment to maintain a high standard of living, both of which are subject to the constant threat of human interference. Through land use controls and the environmental review process, the City can do its part to ensure clean water supplies and a safe environment.

City of Villa Park

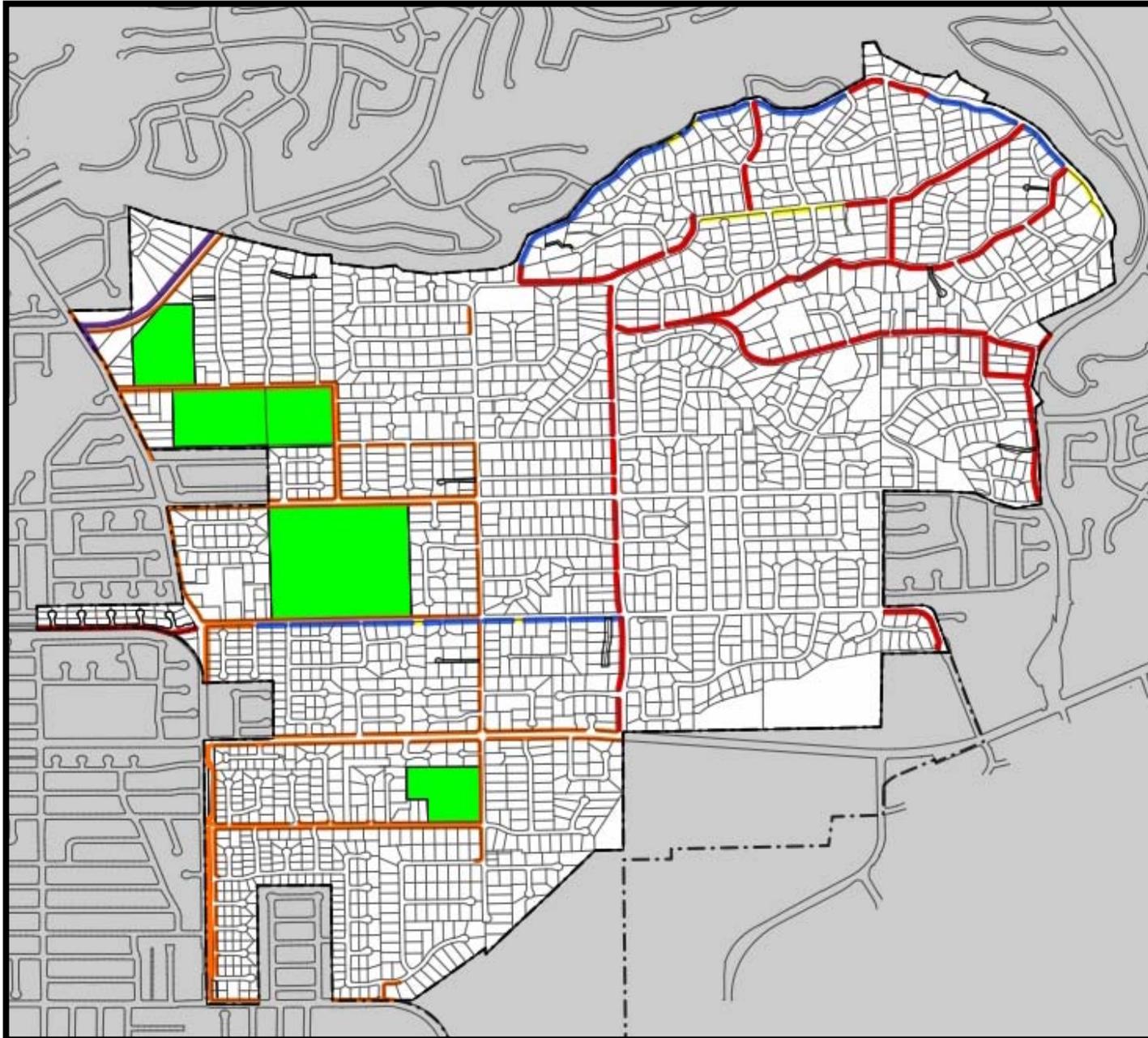
2010 General Plan

Exhibit V-1

Recreational Trails & School Sites

Legend

- Proposed
- Undeveloped
- Sidewalk
- Decomposed Granite (DG)
- DG and Recreational Fence
- School Sites



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

City of Villa Park

2010 General Plan

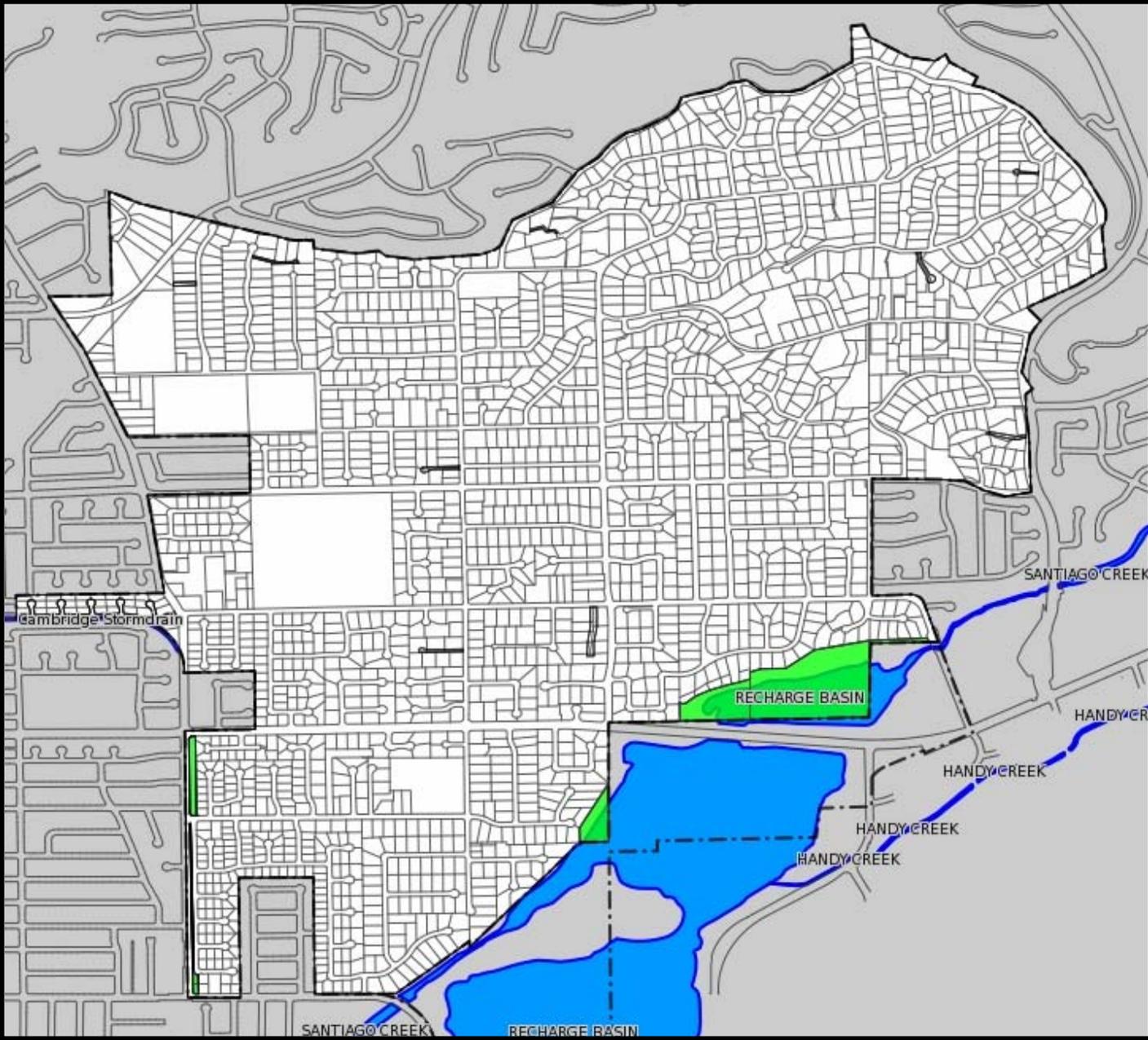
Exhibit V-2

Open Space Land

Legend

 Open Space

 Santiago Creek



CITY OF VILLA PARK
17855 SANTIAGO BOULEVARD
VILLA PARK, CALIFORNIA 92861

ISSUES AND OPPORTUNITIES

Issues

- There are no public areas of sufficient size and character to develop as active park sites.
- Water storage within the region is significantly depleted due to recent years of low rainfall amounts.
- Land development activity may contribute to the degradation of water resources within the region.

Opportunities

- The City has a Master Plan of Recreational Trails to provide recreational opportunities within the City and provides for off-road linkages to the Santiago Creek Green Belt and the Orange County system of recreational trails including the Santa Ana River trails, the Orange County Regional Parks, and nearby Grijalva Park in the City of Orange.
- Extensive former sand and gravel mining operations along Santiago Creek adjacent to the southeast boundary of the City are utilized for water reclamation and flood control purposes by the County of Orange and the Orange County Water District. This provides passive open space benefits to the city. The current uses are consistent with goals of the Santa Ana River/Santiago Creek Greenbelt Plan adopted by the County of Orange and the cities of Villa Park and Orange.
- Passive open space can be enhanced through the use and addition of landscaped medians and parkways.
- The large residential lots in Villa Park and adherence to the maximum lot coverage standard provide substantial private open space.
- Eighty acres within the City's 2.1 square mile area are dedicated for public school purposes as follows:
 - Villa Park High School – 40 acres
 - Cerro Villa Middle School – 20 acres
 - Villa Park Elementary – 10 acres
 - Serrano Elementary – 10 acres

The school sites provide large areas of multi-purpose open space for recreational uses by the community including track and field, swimming,

tennis, baseball, soccer, basketball, Physical Activity and Recreation (PAR) courses, and community sponsored events.

- As part of completed residential developments in the City of Orange, development of recreational trails in the northeasterly portion of Villa Park will be coordinated with those in the City of Orange and the County of Orange.
- Explore feasibility of landscaping/beautification of entrances to the City adjacent to the Santiago Creek Greenbelt:
 - 1) The slopes visible from Villa Park Road east of Lemon Street and;
 - 2) The slopes visible from Collins Avenue east of the City limits.

GOALS, POLICIES AND PROGRAMS

OS/Conservation Goal #1: Maintain the City's environmental quality through the preservation and enhancement of open space within and adjacent to the city.

OS/Conservation Policies:

OS/C #1: Look to maximize existing open space facilities for recreational uses.

OS/C #2: Pursue grant funding to complete recreational trail system and recreational amenities where feasible.

OS/C #3: Continue coordination with surrounding Cities and the County for the preservation of open space within Villa Park and the regional area.

OS/C #4: Continue to work with the City of Orange and the County of Orange to develop a linked regional recreational trail system.

Action Programs:

1. Complete the master planned recreational trails and feasible recreational amenities with available grant funding and City funding.
2. Enhance the Wanda Greenbelt open space area to promote passive recreational and botanical uses.
3. Work cooperatively with the Orange Unified School District to continue active recreation uses with minimal impacts to residential neighborhoods.
4. Develop recreational trail heads with PAR course amenities.

OS/Conservation Goal #2: Maintain a balance of active and passive open space areas.

OS/Conservation Policies:

OS/C #5: Utilize easements and linear parkways to provide open space.

OS/C #6: Encourage the addition of roadway medians and plantings of street trees to preserve and enhance rural feeling.

Action Programs:

6. Complete landscaped median, recreational trail, and bike lanes project on Lemon Street from Villa Park Road north to Valley Drive.
7. Complete landscaped median project on Taft Avenue, east of Center Drive.
8. Finalize the street tree program.
9. Continue to develop a water sensitive and drought tolerant landscaping program for medians and greenbelt areas to minimize costs and maximize functionality as open space.

OS/Conservation Goal #3: The City will continue to recognize and consider environmental issues in all aspects of land use planning, with special emphasis on groundwater resources, surface water quality, and environmental pollution.

OS/Conservation Policies:

- OS/C #7: Protect significant groundwater recharge areas to ensure continued recharge of local groundwater basins.
- OS/C #8: Continue to cooperate with water supply agencies to protect the quantity and quality of local groundwater supplies.
- OS/C #9: Promote water conservation principles and policies for use by the City and those living, working, and operating a business within the City and those developing land within the City.
- OS/C #10: Control surface runoff water discharges into the storm drain system through enforcement of the City's National Pollution Discharge Elimination System (NPDES) Permit.

Action Programs:

10. Coordinate drainage plans for development within the City to ensure that major groundwater recharge areas are protected.
11. Maintain publicly owned open space along Santiago Creek to ensure that the existing recharge areas are preserved.

12. Continue to comply with State and Federal regulations for monitoring of domestic water supplies.
13. Continue to promote existing and also consider adopting new water conservation policies and principles for use by the City, its residents and businesses, those working within the City, and those developing land within the City.
14. Continue to require project-specific Water Quality Management Plans (WQMPs) for qualifying projects, pursuant to the City's NPDES Program.
15. Encourage the use of Low Impact Design principles for all Private and Public New Development and Significant Redevelopment Projects

VI. SEISMIC AND SAFETY

INTRODUCTION AND BACKGROUND

General Plan Legislation

In 1970, the State made the Seismic and Safety Element a mandatory element of the General Plan. The provision for a Safety Element was partly a reaction to damaging wildfires that occurred in September and October of 1970. Following the San Fernando Earthquake in 1971, the State Legislature enacted legislation requiring counties and cities to adopt a Seismic Safety Element as part of the comprehensive General Plan. In 1984, there were revisions in General Plan legislation pertaining to these two elements. The Seismic Safety and Safety Elements were combined into a single element that contained essentially the same information previously included in the two elements.

According to §65302(g) of the Government Code, the Safety Element is described in the following terms:

A Safety Element for the protection of the community from any unreasonable risks associated with the effects of seismically induced surface rupture, ground shaking, ground failure, tsunami, seiche, and dam failure; slope instability leading to mudslides and landslides; subsidence and other geological hazards known to the legislative body; flooding; and wildland and urban fires. The Safety Element shall include mapping of known seismic and other geologic hazards. It shall also address evacuation routes, peak load water supply requirements, and minimum road widths and clearances around structures, as those items relate to identified fire and geologic hazards.

Purpose and Function

The purpose of the element is to identify hazards within Villa Park and initiate precautions to protect the safety of the community. The Element is principally a preventative planning document that will reduce natural and manmade hazards to acceptable levels of risk.

Relationship to Other General Plan Elements

Some community safety concerns overlap or are associated with the issues considered by the Open Space and Land Use Elements. According to Government Code §65590(b)(4), the Seismic and Safety Element is linked to the implementation of a local open space plan. For instance, as a means of protecting public health and safety, open space land may be set aside for these purposes in circumstances that need special regulation and management. Undeveloped land devoted to open space use may include area set aside because of hazardous conditions such as earthquake fault zones, unstable soil areas and flood plains. In addition, a community's Land Use Element usually

incorporates the findings and recommendations relative to public safety and open space lands.

INVENTORY OF EXISTING CONDITIONS

Geologic and Seismic Hazards

Orange County, situated on the California south coastal plain, covers an area of 782 square miles. It is bounded by Los Angeles and San Bernardino Counties to the north, Riverside County to the East, San Diego County to the south, and the Pacific Ocean to the west. Folding and faulting of the earth's crust during the Tertiary Period produced topographic features visible today. The western portion of the County is a series of broad sloping plains (Downey and Tustin Plains) formed from alluvium transported from the mountains by the Santa Ana River, Santiago Creek and other local streams. The Puente/Chino Hills, which identify the northern limit of the valley, extend for 22 miles and reach a peak height of 1,780 feet. To the east and southeast of the valley are the Santa Ana Mountains, which have a peak height of 5,961 feet. North of the City of Villa Park are the Peralta Hills, exceeding a height of 1,500 feet. To the south is the Lomas de Santiago ridgeline with elevations as high as 1,700 feet.

The City of Villa Park is located in the low foothills on the west flank of the Santa Ana Mountains, and is southeast of the Santa Ana River. Within its southeastern boundary runs a portion of Santiago Creek. The majority of the community is located in older sedimentary rock overlaid with alluvial material deposited by the Santa Ana River and Santiago Creek. The eastern portion of the community consists of volcanic rock deposited in the late Miocene time.

The El Modena and Peralta Hills Faults are nearest to Villa Park. Both are smaller north-northwest trending reverse faults located in the west flank of the Santa Ana Mountains, about two miles northeast of the El Modena Community. The El Modena and Peralta Hills faults are approximately 6 miles in length. Little impact is anticipated from these faults. With no recent record of activity, prevailing scientific thought is that neither is anticipated to be capable of generating significant earthquakes.

There are several other faults that could potentially affect Villa Park. The fault systems are listed below and shown in **Table VI-1**.

**Table VI-1
Local Faults**

Fault	Approximate Distance From Villa Park
Whittier	8.5 miles N.E.
Los Alamitos	10 miles S.E.
Chino	11 miles N.E.
San Jose	13 miles N
Newport/Inglewood	14.0 miles S.E.
Sierra Madre	23 miles N
Red Hills	25 miles N.E.
San Jacinto/Coyote Creek	34.0 miles N.E.
San Andreas	38.0 miles N.W.
San Fernando	52 miles N.W.

Most of the loss of life, injuries, and damages that occur during an earthquake are related to the collapse of hazardous buildings or structures. Villa Park continues to apply the most recent Building Codes that in turn assist in reducing hazards from earthquakes.

Slope Stability

Slope stability in the area is affected by three interrelated factors. These include surface and subsurface water, geologic structure and rock types, and the degree of slope. Water moving over or under the land surface erodes, steepens, and undercuts slopes, thus removing lateral support. Much of the City’s surface flows are directed to subsurface stormdrain infrastructure. Stability is also dependent on the specific properties and combination of materials forming the slope. Moderate slopes occur in the northeastern portion of the City. Exposure to such hazards can be increased with the urbanization of hilly areas. Development densities in this area are low and grading plans were required to address slope and surface water issues. Finally, extensive landscaping assists in the reduction of surface erosion.

Erosion

Land erosion is a natural process by which soil is removed from one area and transported to other areas largely by means of wind, gravity, and moving water. If water moves over level areas, little physical damage occurs to structures. However, if the flow of water is constricted or the slope is steepened, the velocity increases and deep gullies may result. Accelerated erosion within an urbanized area can cause damage by undermining structures, depositing silt, sand, or mud in roads and streets, and blocking storm sewers. In Villa Park this threat has been greatly reduced through code based development, landscape requirements, and storm drain infrastructure improvements.

Flooding

Hazards associated with flooding can result from two sources. The first potential source of flooding would be a natural occurring weather event and the second would be the result of a failure at a water storage facility such as a water storage tank or dam. Locally there is one in-ground storage facility with no threat to the City. Those in the surrounding area have little to no potential impact to the City based on the direction of flow and drainage improvements.

The City's participation in the National Flood Insurance Program (NFIP), a component of the Federal Emergency Management Agency (FEMA), has mitigated the potential for flood hazards in new development/substantial improvement construction by requiring corrective and preventative measures. These measures take a variety of forms and generally include requirements for zoning, subdivision or building, and special-purpose floodplain ordinances.

The City of Villa Park has areas designated as one-hundred and five-hundred year storm risk areas, which are the maximum levels of water expected to occur after the inundation of an area (exhibits detailing these areas are available at City Hall). Mitigation measures implemented by City Ordinance require all new construction or substantial improvement within the Flood Zone AO (AO – 100-yr Special Flood Hazard) Area to have a finished floor elevation constructed one foot above the hundred-year storm level. Additionally, the City continues to make improvements to its storm water collection system, thereby removing surface flows and channeling water to nearby basins.

Fire Hazards

Fire hazards are the likelihood of an area burning and how it burns. In the past the most significant fire hazard was wildland exposure northeast of the City limits. Based on topography, fuel loading, and critical fire weather frequency (Santa Ana Winds), the area of the City adjacent to this exposure was considered a high risk fire hazard area. However, single-family residential development within the region has replaced that wildland area to the northeast and Villa Park is no longer listed as a Threat on the Federal Register's Communities at Risk List.

Risk from other types of fire hazards has also been reduced within the City. The age and condition of the majority of the existing housing stock, the type of construction, requiring roofing materials to have a minimum class "A" rating, and the absence of major industrial or commercial structures greatly reduce the risk of fire hazards. In the event of a fire, current emergency response providers state that services are provided 80% of the time within 7 minutes 20 seconds from receipt of call to on scene arrival. Villa Park also utilizes a highly successful core of volunteer fire fighters to supplement and support fire services.

Dam/Reservoir Inundation

Villa Park Reservoir, at an elevation of 581 feet, is an earthen reservoir located upstream from the City of Villa Park on Santiago Creek, was created for flood control purposes for water flow from Irvine Lake. Santiago Reservoir, at an elevation of 804 feet, creates Irvine Lake and functions as a reservoir for our area. It is an earthen reservoir that was built in 1933.

During years with heavy precipitation, release gates in Santiago Reservoir can be operated to prevent water from overflowing the face of the dam. Villa Park Reservoir then meters these heavy flows to prevent flooding of low lying areas downstream. Normally there is no water behind Villa Park Reservoir. Villa Park could be affected by failure at either of the reservoirs on Santiago Creek. However, these facilities are maintained and safety-inspected to ensure their integrity and that risks are minimized.

Hazardous Materials

Transportation of hazardous materials and flammable liquids along the arterial highways of Villa Park represents only a slight hazard as there are few users within the City and arterial transportation routes make up a very small portion of all transportation routes within the City. Truck limits and permit requirements limit use on any residential streets. There are no industrial developments within Villa Park and only one small commercial center that may attract such materials. Contract Police and Fire services have in place emergency response plans if a hazardous materials situation were to occur in Villa Park.

Climate Change

The scientific community has documented that increasing levels of greenhouse gases (GHGs) in the earth's atmosphere are contributing to rising global average temperatures. The most abundant GHG is carbon dioxide (CO₂), which is a by-product of fossil fuel combustion. CO₂ is removed from the atmosphere through sequestration by vegetation and dissolution into the ocean. Carbon sequestration is the absorption or removal from the air of carbon dioxide by plants or other natural processes. These sequestration processes happen naturally, but human-generated emissions have outpaced these removal processes, resulting in excessive GHG concentrations accumulating in the atmosphere, and leading to a subsequent trend of unnatural global warming.

Aircraft Traffic

The Orange County John Wayne Airport (JWA) is located 8.7 miles south of the City of Villa Park. As of 2008, over 950 planes (commercial aircraft and general aviation) fly in and out of JWA each day using a single runway. In June 2007, 395 were jet aircraft.

According to reports prepared for the John Wayne Airport, Villa Park does not lie within the “crash zones” of the airport. These areas surround the immediate landing and take-off zones. However, the concentration of small private aircraft in the vicinity increases the risk of mid-air collisions.

Military air traffic, air traffic associated with regional agencies and helicopter traffic in particular present safety hazards in terms of both noise and potential aircraft failure as flight patterns are often within the immediate vicinity of Villa Park and surrounding communities. Noise concerns are discussed in the noise element. The City monitors all developments regarding the expansion of John Wayne Airport and through City Council action, will respond accordingly to any change proposed.

The Community Emergency Response Team

The Community Emergency Response Team (CERT) program was developed in California in the mid-80s as a way to train people to better prepare for emergency situations in their communities. Since then, it has become a national model for helping people respond to emergencies. When emergencies happen, CERT members can give critical support to first responders and provide immediate assistance to victims. CERT members can also help with non-emergency projects that improve the safety of the community. The Villa Park CERT program is designed to augment the overall emergency response for the City. The Villa Park CERT team conducts periodic training, executes training drills, and helps educate the residents on safety preparedness items.

ISSUES AND OPPORTUNITIES

Issues

- Ground shaking may occur as a result of movement along any one of Southern California’s large regional faults such as the San Andreas, Newport-Inglewood, or Whittier-Elsinore. Movement along any of these fault zones has the potential to damage in Villa Park.
- Expansive soil conditions require specialized grading techniques or foundation treatment to control uplift characteristics of these materials. Settlement due to structural loading within areas underlain by compressible materials, such as thick topsoil, alluvium, and/or terrace deposits is a potential problem within the lower elevations of the community.
- The 2003 settlement agreements with John Wayne Airport regarding passenger limitations and curfews will expire respectively in 2015 and 2020.

- Scientific data indicates that global climate change is affecting natural process such as the water cycle and sequestration, which are resulting in depleted water supplies and increased CO₂ levels in the atmosphere.
- With the loss of El Toro as a potential site for a second airport in Orange County, John Wayne Airport will sustain the burden of being the single airport to meet the increasing demand for air transportation services.

Opportunities

- Villa Park is in the fortunate position that all of its structures are non-critical facilities having a relatively low profile, thereby reducing the probability of damage to life and property.
- The City maintains the most current development standards within its ordinances, codes, and requirements pertaining to the above mentioned hazards. Primary codes relating to this element are the Uniform Building Code, Uniform Fire Code, Fire Prevention Codes, Grading Ordinance, Zoning Ordinance, Subdivision Ordinance, and State Health and Safety Codes.
- The City's fire, police, public works department and emergency organizations are all well rated and take advantage of new methods, equipment, and techniques in the performance of their duties. The City maintains an active Community Emergency Response Team and emphasizes emergency preparedness.
- Local water storage is adequate in quantity and well located. Fire hydrant distribution meets or exceeds all applicable codes.
- The street circulation system is adequate to handle any necessary deployment of emergency vehicles and evacuation of residents.

GOALS, POLICIES AND PROGRAMS

Seismic and Safety Goal #1: Protect life and property from geologic hazards.

Seismic and Safety Policies:

S & S #1: Continue to coordinate with the State and agencies within the County to assist in the mitigation of geologic and seismic hazards.

S & S #2: Continue to participate in the Orange County Emergency Management Organization (OCEMO) and its program to maintain an Emergency Operating Center radio network.

Action Program:

1. Continue to implement the most current seismic requirements of the California Building Code with periodic updates.
2. Require geotechnical studies to be prepared for development projects located in areas containing known or suspected geologic hazards, consistent with the guidelines established by the State of California Division of Mines and Geology.

Seismic and Safety Goal #2: Protect life and property from the hazards of flooding.

Seismic and Safety Policies:

S & S #3: Enforce the requirements of the Federal Emergency Management Agency (FEMA) to mitigate flood hazards.

S & S #4: Support Orange County Flood Control District and Army Corp of Engineers efforts to monitor and upgrade regional and local flood control facilities.

S & S #5: Educate the public about flood related hazards.

Action Program:

3. Continue to require compliance with FEMA standards of flood proofing for substantial improvement projects located within the 100-year floodplain.

4. Make available flood hazard and response information to residents when requested and if applicable via electronic methods.

Seismic and Safety Goal #3: Protect life and property from water related hazards as a result of seismic rupture of dams/reservoirs.

Seismic and Safety Policies:

- S & S #6: Annually request and review California Department of Water Resources – Division of Safety of Dams (DSOD) inspection reports for both Villa Park and Santiago Reservoirs.
- S & S #7: Continue to prepare, review, revise, and update emergency response plans and programs between the City, dam/reservoir owners/operators, and Federal, State, and local agencies responsible for dam safety and disaster response.

Action Program:

5. Provide available emergency evacuation information to the public.

Seismic and Safety Goal #4: Protect life and property from fire.

Seismic and Safety Policies:

- S & S #8: Maintain adequate level of fire services.
- S & S #9: Maintain an Insurance Service Organization (ISO) rating of 3 or less.
- S & S #10: Continue to identify and evaluate new potential fire hazards, fire hazard areas, and fire prevention strategies and practices.
- S & S #11: Continue to adopt and honor agreements with adjacent communities for mutual automatic aid assistance.

Action Program:

6. Continue to implement the current requirements of the California Building Code related to fire protection in all construction.

7. Make available fire hazard safety information for resident and developers in electronic format.
8. Actively promote the installation of smoke detectors in all dwelling units.
9. Review the City's ability to reduce square footage requirements for fire sprinkler installation and retrofit.

Seismic and Safety Goal #5: Protect life and property from risks associated with the transportation of hazardous materials.

Seismic and Safety Policies:

S & S #12: Assess any risks involved in the transportation of hazardous materials within the City.

Action Program:

10. Support the efforts of the City's fire protection service provider to enforce State "right-to-know" laws.
11. Ensure travel routes through the City for vehicles transporting hazardous materials are clearly delineated.

Seismic and Safety Goal #6: Maintain an adequately manned police force and relevant crime prevention programs.

Seismic and Safety Policies:

S & S #13: Support neighborhood meetings and community programs on crime prevention and education.

Action Program:

12. Continue to implement "Neighborhood Watch" programs, involve the efforts of the City's police services provider, and encourage increased volunteer service in community watch programs.

Seismic and Safety Goal #7: The City will prepare for and adapt to the effects of climate change and promote practices that decrease the City's contribution to climate change.

Seismic and Safety Policies:

S & S #14: Evaluate the potential effects of climate change on the City's human and natural systems and prepare strategies that allow the City to appropriately respond and adapt.

Seismic and Safety Goal #8: The City will recognize and work to minimize safety impacts associated with the operation of John Wayne Airport.

Seismic and Safety Policies:

S & S #15: Participate in the Corridor City Coalition (Coalition) with the intent to protect the City from effects of air traffic utilizing John Wayne Airport.

Seismic and Safety Goal #9: The City will recognize and work to mitigate the safety hazards associated with civilian and military air traffic.

Seismic and Safety Policies:

S & S #16: Work with FAA, Orange County Airport officials and other agencies to establish aircraft corridors which minimize the exposure of Villa Park residents to air traffic related hazards.

S & S #17: Work with military and other government officials to minimize the impact of military helicopter and airplane traffic on Villa Park residents.

VII. NOISE

INTRODUCTION AND BACKGROUND

General Plan Legislation

The State of California has mandated that each County and City prepare a Noise Element as part of its General Plan. Section 65302(f) of the California Government Code requires that the Noise Element recognize the guidelines established by the Office of Noise Control in the Department of Health Services, and analyze and quantify current and projected noise levels for all noise sources. According to the California Government Code, noise contours shall be used as a guide for establishing a Land Use Element that minimizes the exposure of community residents to excessive noise.

Purpose and Function

The purpose of the Noise Element is to provide information on current and future noise levels in the City and provide the basis for the creation and enforcement of noise-associated standards and codes. These actions protect the health and wellbeing of persons living and working in Villa Park.

Noise is often identified as unwanted sound. Although sound is measurable, noise is subjective; the effects on people range from annoyance and inconvenience to temporary or permanent hearing loss. Every day, people are subjected to a multitude of sounds at home or in the work place. The relationship between measurable sound and human irritation is the key to understanding noise impacts; **Table VII-1** provides examples of noise creating activities and resulting effects.

TABLE VII-1

Common Outdoor Activities	Common Indoor Activities	A-Weighted Sound Level dBA	Subjective Loudness	Effects of Noise
Threshold of Pain		140	Intolerable or Deafening	Hearing Loss
Near Jet Engine		130		
		120		
Jet Fly-Over at 1,000 ft	Rock Band Performance	110	Very Noisy	
Loud Auto Horn		100		
Gas Lawn Mower at 3ft		90	Loud	Speech Interference
Diesel Truck at 50 ft, at 50 mph	Food Blender at 3ft	80		
Noisy Urban Area, Daytime	Vacuum Cleaner at 10ft	70		
Heavy Traffic at 300 ft	Normal Speech at 3ft	60	Moderate	Sleep Disturbance
Quiet Urban Daytime	Large Business Office	50		
Quiet Urban Nighttime	Theater, Large Conference Room (Background)	40	Faint	No Effect
Quite Suburban Nighttime	Library	30		
Quiet Rural Nighttime	Bedroom at Night, Concert Hall (Background)	20		
	Broadcast/Recording Studio	10	Very Faint	
Threshold of Human Hearing	Lowest Threshold of Human Hearing	0		

Perceived Noise Levels

The A-weighted decibel, commonly abbreviated as dBA, has been devised to relate sound to the sensitivity of the human hearing system. This scale is calibrated to the faintest sound audible and has approximately the same frequency response as the human hearing system. A listener usually judges an increase in sound level of 10 dBA as a doubling of sound.

Environmental noise descriptors are generally based on averages, rather than instantaneous noise levels. The most commonly used figure is the equivalent level (Leq). Leq represents a steady sound level containing the same total energy as a time-varying level over a given measurement interval. Leq's may represent any desired length of time; however, one hour is most commonly used in environmental work. Consequently, Leq's will vary depending on the time of day. In traffic noise measurements, the noisiest hour of the day is considered the benchmark of a road's noise emissions; therefore, the peak hour Leq is the noise metric used by Caltrans for all traffic noise analyses.

Peak hour noise levels, while useful, do not completely describe a given noise environment. Noise levels lower than peak hour may be disturbing if they occur during times when quiet is most desirable, namely evening and nighttime hours. To account for this, the Community Noise Equivalent Level is utilized. The Community Noise Equivalent Level (CNEL) is the weighted average of the intensity of a sound, with corrections for the time of day, over 24 hours.

Measured and Forecast Noise Levels

The sound from an individual source decreases with increasing distance. The amount of sound reaching the receiver is affected by barriers between the source and the receiver (such as windows, walls, landscaping, and buildings), atmospheric conditions (such as wind, temperature, and humidity), and the number of sources emitting sound.

Automobiles are the primary source of surface noise in Villa Park. Noise associated with passenger vehicles is generated by the engine, tires, and exhaust system. Noise varies with road conditions and speed. Generally, automobile noise is greater at high speeds than at low speeds; therefore, this noise peak may not occur at maximum traffic volume.

Transportation noise in Villa Park is greatest along arterial highways. Existing 2008 CNEL noise contours are shown in **Exhibit VII-1**. Noise referral zones are those areas that define a CNEL level of 60 decibels. According to the State of California Office of Planning and Research General Plan Guidelines, an acoustical study may be required in cases where noise-sensitive land uses are located in areas of 60 dBA CNEL or greater. Any land use that is exposed to

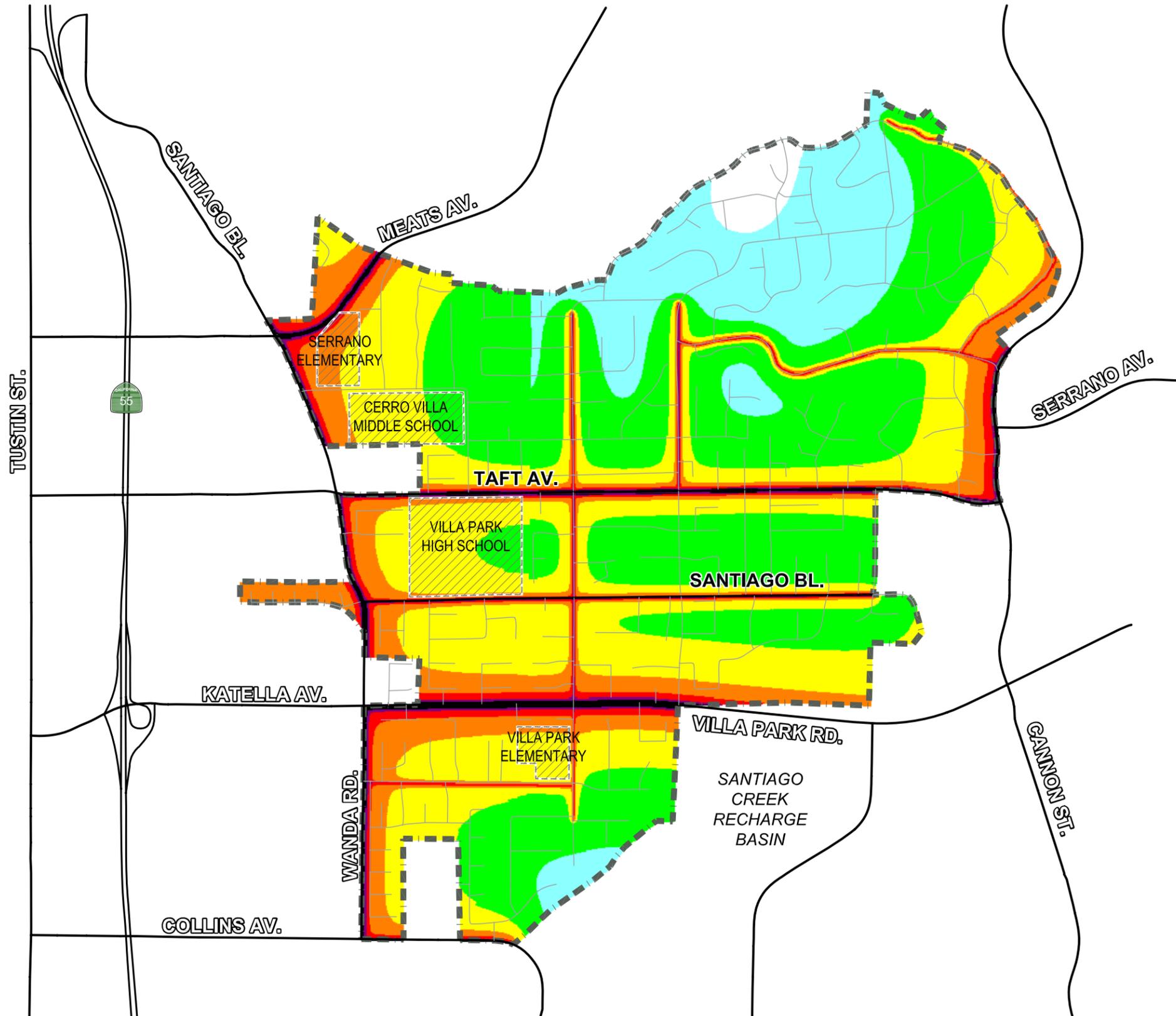
levels higher than the 65 dBA CNEL will require noise mitigation measures. The City of Villa Park defines 60 dBA CNEL as the level at which planning for future land uses should consider acoustical impacts. Noise sensitive land uses include residences of all types, rest homes, hospitals, places of worship, and schools.

There are no industrial or railroad facilities within Villa Park to generate noise. The Orange County John Wayne Airport is located 8.7 miles south of the City and no portion of the City is located within the 65 dBA CNEL noise contours of the airport. Although there were approximately 1,000 commercial and general aviation flights using the airport in 2008, flight paths are at heights which do not transmit excessive sound (see Urban Crossroads technical report for measurement details) provided that aircraft comply with operational standards established by civilian and military authorities.

Future (year 2030) noise contours are shown in **Exhibit VII-2**. These contours are based upon the traffic forecasts shown in the Circulation Element. The increased traffic volume leads to a slightly enlarged footprint for the 60 and 65 dBA noise levels.

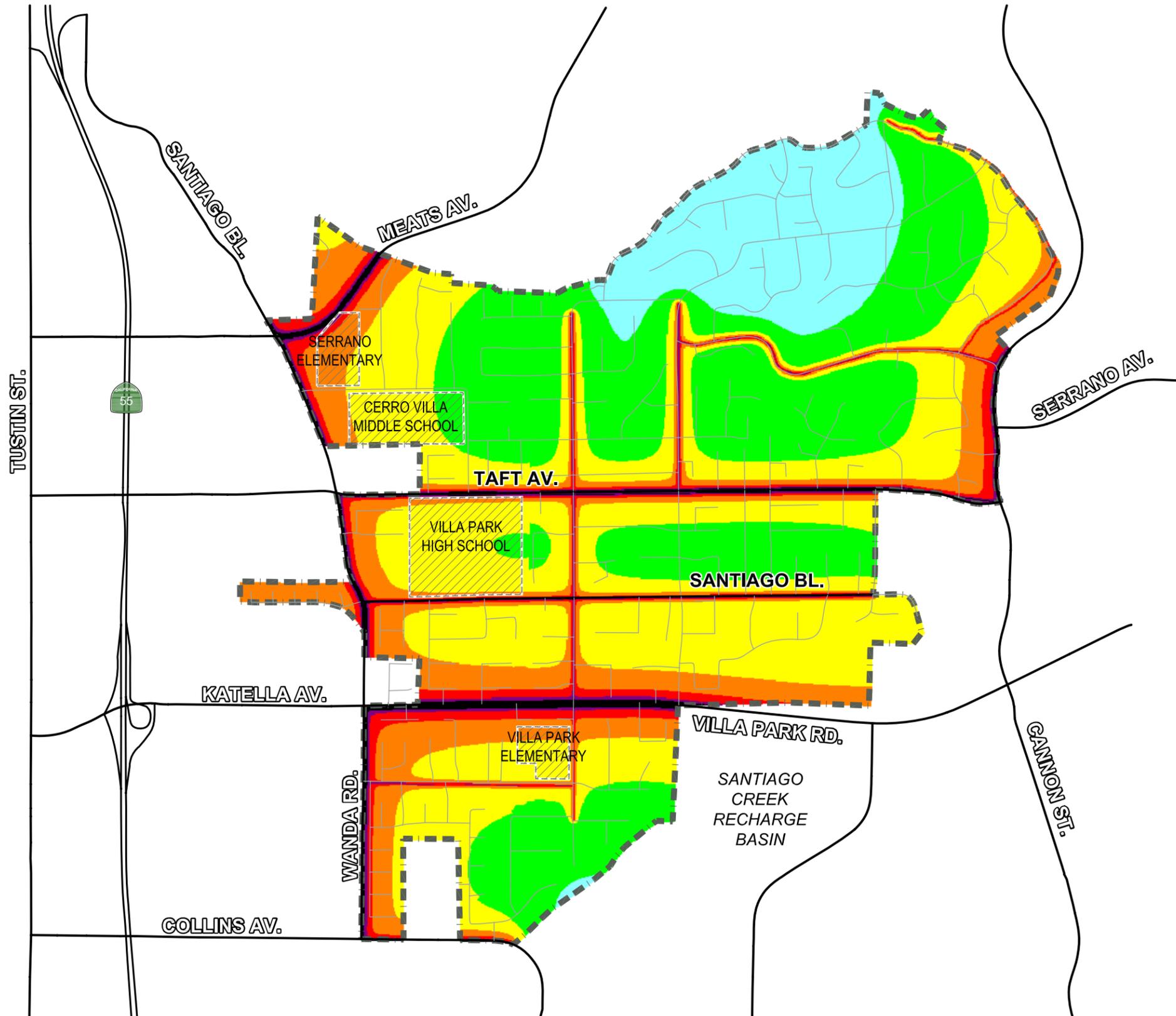
LEGEND:

-  CITY BOUNDARY
-  > 45.0 dBA CNEL
-  > 50.0 dBA CNEL
-  > 55.0 dBA CNEL
-  > 60.0 dBA CNEL
-  > 65.0 dBA CNEL
-  > 70.0 dBA CNEL
-  > 75.0 dBA CNEL



LEGEND:

-  CITY BOUNDARY
-  > 45.0 dBA CNEL
-  > 50.0 dBA CNEL
-  > 55.0 dBA CNEL
-  > 60.0 dBA CNEL
-  > 65.0 dBA CNEL
-  > 70.0 dBA CNEL
-  > 75.0 dBA CNEL



ISSUES AND OPPORTUNITIES

Issues

- Vehicular traffic is the primary noise generator in Villa Park.

Opportunities

- Routing regional traffic onto surrounding arterial roadways rather than through Villa Park would reduce noise levels on residential streets.

Objective

- Maintain a residential noise environment consistent with the Noise Insulation Standards of the California Administrative Code, which sets forth construction standards to provide a suitable living environment.

GOALS, POLICIES AND PROGRAMS

Noise Goal #1: Continue to provide acceptable noise environments for residential land use.

Noise Policies:

- N #1: Continue to apply noise considerations into the community planning process to prevent noise/land use conflicts.
- N #2: Minimize through traffic in residential areas by promoting peripheral routing.
- N#3: Promote, where appropriate, sound attenuation measures. These may include the use of berms and wall barriers, the placement of buildings away from the noise source, or a combination of sound attenuation measures.

Action Programs:

1. Continue to enforce the City Noise Ordinance.
2. Require that any new commercial uses adjacent to noise sensitive uses must be designed with noise mitigation measures to reduce the noise associated with truck deliveries and stationary equipment such as pumps, compressors, and air conditioning units.
3. Require that all commercial loading facilities be located, designed, and used to minimize noise at adjacent noise sensitive areas.

VIII. GROWTH MANAGEMENT

INTRODUCTION AND BACKGROUND

General Plan Legislation

On November 6, 1990, Orange County voters passed a referendum known as “Measure M”, a revised Traffic Improvement and Growth Management Ordinance. In order to be eligible to receive new Measure M transportation revenues, the Measure required that each jurisdiction incorporate a Growth Management Element into its General Plan.

Purpose and Function

The purpose and function of the Growth Management Element is to direct that growth and development be based upon the City of Villa Park’s ability to provide an adequate circulation system and public facilities pursuant to the Orange County Division, League of California Cities “Countywide Traffic Improvement and Growth Management Plan Component.”

Relationship to Other General Plan Elements

A major goal of the Growth Management Element is to ensure that the planning, management, and implementation of traffic improvements and public facilities are adequate to meet the current and projected needs of the City of Villa Park. Although a high priority, this goal must be achieved while simultaneously maintaining consistency among the other elements of the General Plan as required by State Law. Therefore, the Growth Management Element does not replace or supersede any of the other General Plan elements. Instead, the Element addresses, amplifies, and supports traffic level of service and public facility standards that are included in other General Plan elements, and establishes new standards where necessary. The Element also serves to augment development mitigation, development phasing, and annual monitoring discussions in other General Plan elements.

The Growth Management Element is implemented through various coordinated programs developed to support and carry out its goals, objectives, and policies. In addition, this Element has been crafted to minimize duplicative Measure M and Congestion Management Program (CMP) requirements.

The Growth Management Element express’ the City of Villa Park’s most current growth management policies. Consequently, although certain General Plan elements overlap, the Growth Management element provides a key resource document for growth management concerns.

The Growth Management Element achieves consistency with other General Plan elements through the pursuit of common major goals such as traffic level of service and public facilities development as implemented through the specific directives that follow:

1. The Maps contained in the Land Use, Circulation, and Open Space and Conservation Elements shall provide General Plan policy guidance for implementing public facilities planning.
2. Major City of Villa Park public facilities shall conform to the adopted Noise and Seismic and Safety Elements.
3. Innovative financing, funding and implementation programs serving to minimize infrastructure costs, as well as housing costs, are in the Housing Element.
4. Regional transportation facilities are mapped in the Circulation Element.
5. Regional public facilities (excluding transportation) are mapped, to the extent feasible, in the Land Use Element.
6. Community facilities are mapped in the Land Use Element.
7. The Circulation Element Master Plan of Arterial Highways is the City of Villa Park's master plan for transportation providing general policy and program guidance for facility planning and citing.

ISSUES, OPPORTUNITIES AND OBJECTIVES

Issues

- With 99% of the City developed and no external Sphere-of-Influence for expansion of City boundaries, additional development potential is extremely limited.
- Development in the cities of Orange and Anaheim have, and will continue to, significantly affect established neighborhoods in Villa Park.
- The high cost of land in Villa Park restricts the range of potential development opportunities.
- Villa Park is adversely affected by pass-through traffic generated by sources outside of the City.

Opportunities

- Widening of select regional arterials highways can encourage traffic to avoid driving through residential neighborhoods.
- Synchronization of traffic signals will assist in minimizing vehicle congestion.
- The possible extension of Wanda Road south of Collins Avenue by the City of Orange would improve north-south traffic flow.

Objective

- Minimize the impacts of growth both within the City and within the region on the citizens and facilities of Villa Park.

GOALS, POLICIES AND PROGRAMS

Growth Management Goal #1: To work and cooperate with neighboring entities and regional bodies to alleviate impacts of surrounding area growth on Villa Park.

Growth Management Policies:

GM #1: Continue working cooperatively with surrounding jurisdictions.

GM #2: The City of Villa Park has and will continue to participate in Inter-Jurisdictional Planning Forums at the Growth Management Area (GMA) level to discuss developments with multi-jurisdictional impacts and appropriate mitigation measures.

Actions Program

1. Continue implementing the current Development Mitigation Program and ensure that standards meet acceptable impact fees for applications within the GMAs.

Growth Management Goal #2: To manage any growth within the City of Villa Park in such a manner so as not to adversely affect transportation facilities and other public facilities within the City or surrounding communities.

Growth Management Policies:

GM #3: Level of Service (LOS) "D" is the target standard for intersections under sole control of the City of Villa Park. To achieve this, it is the policy of the City of Villa Park that within 3 years of the issuance of the first building permit for a development project, or within 5 years of the first grading permit for said development project, whichever occurs first, any necessary improvements to transportation facilities, as defined by the intersection of 2 arterial highways on the County of Orange Master Plan of Arterial Highways (MPAH), to which the project contributes measurable traffic, are to be constructed and completed to attain level of service "D" at the intersections.

Intersections exempt from the above paragraph include facilities under the jurisdiction of another City/County or the State. However, it is the policy of the City of Villa Park that all development contributing measurable impacts to intersections and all projects contributing cumulatively, or individually, 10% or more of the traffic using an intersection will be assessed a mitigation fee determined by the involved jurisdictions and locally administered as a part of the Capital Improvement Program.

Achievement of the adopted level of service standard and implementation of transportation improvements shall take into consideration extraordinary transportation circumstances which may impact identified intersections and/or timing of the required improvements. An example of extraordinary circumstances would be when arterial roadways serve as a substitute freeway access (thus impacting LOS performance) while planning and construction of additional freeway improvements are underway.

- GM #4: All development projects shall participate in comprehensive public facilities financing plans as established by the City Council as a condition of development approval except where an increased level of participation exceeding those requirements is established through negotiated legal mechanisms.
- GM #5: It is the policy of the City of Villa Park that all new development pays its share of the costs associated with that development, including regional traffic mitigation.
- GM #6: It is the policy of the City of Villa Park to impose a traffic impact mitigation fee for improvements within its boundaries and to work with other jurisdictions to determine minimally acceptable impact-free levels for applications within the Growth Management Area which includes Villa Park.
- GM #7: All development shall be phased in accordance with any applicable Comprehensive Phasing Program adopted by the City of Villa Park. Comprehensive Phasing Programs shall include development phasing plans which establish both a phasing allocation of development commensurate with roadway and public facilities capabilities and an overall build-out development plan which can be supported by implementation of the planned infrastructure system.

- GM #8: It is the policy of the City of Villa Park to continue to balance land use, whereby residential, non-residential and public land uses are proportionally balanced.
- GM #9: It is the policy of the City of Villa Park that new revenues generated from any potential locally approved increased sales tax measure shall not be used to replace private developer funding which has been committed for any project.

Action Programs

2. Continue implementing the current Comprehensive Phasing Program to ensure that infrastructure is added as development proceeds so that the provision of road improvements and public facilities is in balance with demand.
3. Continue implementing the current Performance Monitoring Program established to provide an annual evaluation of compliance with development phasing allocations established pursuant to policies detailed previously.
4. The Performance Monitoring Program will provide periodic evaluations of the maintenance of transportation and public-facilities service levels. The evaluation will be related to various public improvement projects with significant impacts on public facilities. As part of the evaluation available traffic reports will be utilized. In the event the evaluation identifies one or more service level deficiencies measures to correct the deficiency(s) will be identified.
5. Traffic Improvement/Public Facilities Development Agreements: In the event the financing and implementation provisions of this Element are implemented through subsequent, legally valid Traffic Improvement/Public Facilities Development Agreements, said agreements shall be consistent with this Element and its implementing ordinances, plans and programs.

GLOSSARY TERMS

Acre – A unit of land measure equal to 43,560 square feet.

Affordable Housing – Under Federal and State statutes, housing that costs no more than 30% of gross household income. Housing costs include rent or mortgage payments, utilities, taxes, insurance, homeowner association fees, and other related costs.

Annexation – The incorporation of land area into the jurisdiction of an existing City with a resulting change in the boundaries of that City.

Arterial – A major street carrying the traffic of local and collector streets to and from freeways and other major streets, with controlled intersections and generally providing direct access to non-residential properties.

Assisted Housing – Housing that has been subsidized by Federal, State, or Local housing programs.

Built-Out – Without the potential to be further subdivided.

Census – The official decennial enumeration of the population of the United States conducted by the Federal Government.

CNEL – Community Noise Equivalent Level

Collector – A street for traffic moving between arterial and local streets, generally providing direct access to properties.

Conservation – The management of natural resources to prevent waste, destruction or neglect.

Decibel, Db – A unit for describing the amplitude of sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure which is 20 micropascals (20 micronewtons per square meter).

Density – The number of families, individuals, dwelling units or housing structures per unit of land.

Dwelling Unit – One or more rooms, designed, occupied or intended for occupancy as separate living quarters, with cooking, sleeping and sanitary facilities provided within the unit for the exclusive use of the household.

Element – A division or chapter of the General Plan.

Emergency Shelter – An emergency shelter is a facility that provides shelter to homeless families and/or individuals on a limited short-term basis.

Fault – A fracture in the earth’s crust forming a boundary between rock masses that have shifted.

- *Active Fault* – A fault that has moved and is likely to move again. For planning purposes an “active fault” is usually defined as one that shows movement within the last 11,000 years and can be expected to move within the next 100 years.
- *Potentially Active Fault* – (1) A fault that last moved within the Quaternary Period before the Holocene Epoch (the last 2,000,000 to 11,000 years); (2) A fault which, because it is judged to be capable of ground rupture or shaking, poses an unacceptable risk for a proposed structure.
- *Inactive Fault* – A fault which shows no evidence of movement in “recent” geologic time and no potential for movement in the relatively near future.

FEMA – Federal Emergency Management Agency

Floor Area Ratio – The numerical value obtained by dividing the gross floor area of a building or buildings located upon a lot or parcel of land by the total area of such lot or parcel of land.

Ground Failure – Mudslide, landslide, liquefaction or the compaction of soil due to seismic-induced ground shaking.

Growth Management – Techniques used by a Government to regulate the rate, amount, location and type of development.

Ground Water – The supply of fresh water under the surface in an aquifer or soil that forms a natural reservoir for potable water.

Hazardous Material – An injurious substance that includes pesticides, herbicides, toxic metals and chemicals, liquefied natural gas, explosives, volatile chemicals and nuclear fuel.

HCD – California Department of Housing and Community Development. Department responsible for administering State-sponsored housing programs and for reviewing Housing Elements to determine compliance with State housing law.

HMDA – Home Mortgage Disclosure Act. The Home Mortgage Disclosure Act requires that larger lending institutions making home mortgage loans to publicly disclose the location and disposition of home purchase, refinance and improvement loans. Institutions subject to HMDA must also disclose the gender, race, and income of loan applicants.

Homeless – Unsheltered homeless individuals whose primary nighttime residence is a public or private place not designed for, or ordinarily used as, a regular sleeping accommodation for human beings (e.g., the street, sidewalks, cars, vacant and abandoned buildings). Sheltered homeless are individuals whose primary nighttime residence is a supervised publicly or privately operated shelter (e.g., emergency, transitional, battered women, and homeless youth shelter; and commercial hotels or motels used to house the homeless).

Household – The Census considers all persons living in a dwelling unit to be a household whether or not they are related. A single person living in an apartment and a family living in a house are both considered households.

Household Income – The total income of all the people living in a household. Households are usually described as low income, moderate income, middle income, and upper income according to their household size and relation to the regional median income for that household size.

- Very-Low Income: < 50% of the regional median income
- Low Income: 50-80% of the regional median income
- Moderate Income: 80-120% of the regional median income
- Upper Income: > 120% of the regional median income

Infill Development – Infill is the use of land within a built-up area for further construction that focuses on the reuse and repositioning of obsolete or underutilized buildings and sites.

Infrastructure – The physical systems and services which support development and people, such as streets and highways, transit services, airports, and water and sewer systems.

Land Use – A description of how land is occupied or used.

Landslide – A general term for a falling or sliding mass of soil or rocks.

Liquefaction – A process by which water-saturated granular soils transform from a solid to a liquid state due to ground shaking. This phenomenon usually results from energy waves caused by earthquake shaking.

Local Street – A street providing direct access to properties and designed to discourage through-traffic.

Lot Coverage – The area devoted to the principal and accessory structures, patios, garages, and covered parking.

Low-Impact Development – Promotes the highest and best use of the intrinsic land form and built structure(s) to both distribute storm water and collect rainwater.

Manufactured Housing – Housing that is constructed of manufactured components, assembled partly at the site rather than totally at the site; also referred to as modular housing.

Median Income – The income category for each household size that is defined annually by the Federal Department of Housing and Urban Development. Half of the households in the region have incomes above the median and half below.

Mobile Home – A structure, transportable in one or more sections, which is at least 8 feet in width and 32 feet in length, is built on a permanent chassis and designed to be used as a dwelling unit when connected to the required utilities, either with or without a permanent foundation.

Noise – Any unwanted or un-desirable sound.

Open Space – Any parcel or area of land or water essentially unimproved and set aside, designated, dedicated or reserved for public or private use or enjoyment.

Parcel – The basic unit of land entitlement. A designated area of land established by plat, subdivision, or otherwise legally defined and permitted to be used, or built upon.

SCAG – Southern California Association of Governments. The Southern California Association of Governments is a regional planning agency which encompasses six Counties: Imperial, Riverside, San Bernardino, Orange, Los Angeles, and Ventura. SCAG is responsible for preparation of the Regional Housing Needs Assessment (RHNA).

Sequestration – The storage of carbon dioxide in a solid material through biological or physical processes.

Single-Family Dwelling – The main building on a lot designated and used exclusively for occupancy by one family.

Sphere of Influence – A region in which political and economic influence or control is exerted by one agency over another agency or other agencies.

Subdivide – The division by any person or partnership, firm, corporation, of any unit or units of improved or unimproved land, or any portion thereof, shown on the latest equalized County assessment roll as a unit or as contiguous units, for the purpose of sale, lease or financing, whether immediate or future except for leases of agricultural land for agricultural purposes.

Subdivision – The division of a lot, tract or parcel of land in accordance with the Subdivision Map Act (California Government Code Section 66410 et seq.).

Transitional Housing – Transitional housing is temporary (often six months to two years) housing for a homeless individual or family who is transitioning to permanent housing. Transitional housing often includes a supportive services component (e.g., job skills training, rehabilitation counseling, etc.) to allow individuals to gain necessary life skills in support of independent living.

Vacant Land – A parcel of land not occupied by a residence.

Variance – Permission to depart from development standards required in the zoning ordinance when, because of special circumstances applicable to the property, strict application of the ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning. Any variance granted will ensure that the adjustment granted will not constitute a special privilege.

Zoning – A land use regulatory measure enacted by local government. Zoning district regulations governing lot size, floor area ratio, placement, and other development standards vary from district to district, but must be uniform within the same district. Each City and County adopts a Zoning Ordinance specifying these regulations.

100-Year Floodplain – The event which has a 1% chance of being equaled or exceeded in any single year.

500-Year Floodplain – The event which has a 0.2% chance of being equaled or exceeded in any single year.